Palm Coast Park
Community Development District

Agenda

November 21, 2025

AGENDA

Palm Coast Park
Community Development District

219 East Livingston Street, Orlando, Florida 32801
Phone: 407-841-5524 – Fax: 407-839-1526

November 13, 2025

Board of Supervisors
Palm Coast Park
Community Development District

Dear Board Members:

The regular meeting of the Board of Supervisors of **Palm Coast Park Community Development District** will be held **Friday, November 21, 2025 at 10:30 AM at the Hilton Garden Inn Palm Coast/Town Center, 55 Town Center Blvd., Palm Coast, Florida.** Following is the advance agenda for the meeting:

1. Roll Call
2. Public Comment Period
3. Approval of Minutes of the October 17, 2025 Meeting
4. Consideration of Landscape Maintenance Contract Addendum and Related Items
    A. Consideration of Funding Agreement with Dream Finders Homes for Landscape Contract Addendum Costs
    B. Consideration of Updated Change Order #1 from United Landscape Services for Reverie at Palm Coast
    C. Consideration of Landscape Maintenance Service Agreement for Reverie at Palm Coast
        i. Contract Comparison Chart
    D. Consideration of Resolution 2026-02 Amending the Fiscal Year 2026 Budget
5. Consideration of Resolution 2026-03 Amending the Fiscal Year 2025 Budget
6. Somerset Phase 1 Conveyance Items
7. Consideration of LED Lighting Agreement with Florida Power and Light Company for Sawmill Branch Phase 3
8. Staff Reports
    A. Attorney
    B. Engineer and Maintenance Report
        i. Yellowstone Landscape Maintenance Activity Log: September-October
        ii. Freedom at Sawmill Branch Solitude Lake Management Summary: September-October
        iii. Reverie Solitude Lake Management Summary: September-October
        iv. Sawmill Branch 2A and 2B Solitude Lake Management Summary: September-October
        v. Sawmill Creek Solitude Lake Management Summary: September-October
        vi. Somerset Solitude Lake Management Summary: September-October
    C. District Manager's Report
        i. Approval of Check Register
        ii. Balance sheet and Income Statement
9. Other Business
10. Supervisor's Requests
11. Adjournment

The balance of the agenda will be discussed at the meeting. In the meantime, if you should have any questions, please contact me.

Sincerely,

Jeremy LeBrun

Jeremy LeBrun
District Manager

Enclosures

MINUTES

MINUTES OF MEETING
PALM COAST PARK
COMMUNITY DEVELOPMENT DISTRICT

The regular meeting of the Board of Supervisors of the Palm Coast Park Community Development District was held Friday, October 17, 2025, at 10:30 a.m. at the Hilton Garden Inn Palm Coast/Town Center, 55 Town Center Blvd., Palm Coast, Florida.

Present and constituting a quorum were:

Robert Porter	Vice Chairman
Jeff Hobson	Assistant Secretary
Heather Allen	Assistant Secretary

Also present were:

Jeremy LeBrun	District Manager
Vincent Sullivan	District Counsel
Kevin Anderson	DFH

FIRST ORDER OF BUSINESS **Roll Call**

Mr. LeBrun called the meeting to order and called roll. Three Supervisors were present constituting a quorum. Mr. LeBrun added that there was a request to amend that agenda to include a special warranty deed to be reviewed by District Counsel and Mr. LeBrun asked for a motion from the Board to allow the added agenda item.

> On MOTION by Mr. Porter, seconded by Ms. Allen, with all in favor, the Adding of an Agenda Item, was approved.

SECOND ORDER OF BUSINESS **Public Comment Period**

Mr. LeBrun opened the public comment period. Mr. LeBrun stated that this time is allocated for people to make comments or statements to the Board of Supervisors and asked speakers to state their name and address and to keep comments to three minutes.

Ms. Honey Alexander (39 Silver Glen Drive) asked about the status of the sidewalks and the ongoing issues. She stated that the rose bushes at the entry look terrible and asked if they are

going to do anything about it. Kevin Anderson, President of the HOA at Reverie, commented on the landscaping there. He also spoke on the sidewalk issue.

Mr. Bernard Barczak (45 Silver Glen Drive) asked about $150,000 addendum to the United Lawn contract and his concerns with the scope of work.

THIRD ORDER OF BUSINESS **Approval of Minutes of the September 19, 2025 Meeting**

Mr. LeBrun presented the minutes of the September 19, 2025, Board of Supervisors meeting and asked for any comments, corrections, or changes. The Board amended the minutes to change Mr. LeBrun to Mr. Porter on the top line of page 3. Mr. LeBrun suggested the Board approve the minutes as amended.

> On MOTION by Mr. Porter, seconded by Mr. Hobson, with all in favor, the Minutes of the September 19, 2025, Meeting, were approved as amended.

FOURTH ORDER OF BUSINESS **Consideration of Resolution 2026-01 Authorizing Use of Electronic Documents and Signatures**

Mr. LeBrun presented the resolution and offered to answer any Board questions.

> On MOTION by Mr. Porter, seconded by Ms. Allen, with all in favor, Resolution 2026-01 Authorizing Use of Electronic Documents and Signatures, was approved.

FIFTH ORDER OF BUSINESS **Consideration of Landscape Maintenance Contract Addendum and Related Items**

A. **Consideration of Change Order #1 from United Landscape Services for Reverie at Palm Coast**
B. **Consideration of Resolution 2026-02 Amending the Fiscal Year 2026 Budget**
C. **Consideration of Funding Agreement with Dream Finders Homes for Landscape Contract Addendum Costs – *Under Separate Cover***

Mr. LeBrun summarized the purpose for this item for the Board and the audience members stating that the HOA is looking at scope of services and adding frequencies of services but this item has been tabled until the next Board of Supervisor's meeting where they will go into further information for these concerns.

SIXTH ORDER OF BUSINESS **Staff Reports**

A. **Attorney**

i. Approve Special Warranty Deed for Sawmill Branch

Mr. Sullivan presented the special warranty deed and noted the changes to the Board that were primarily dates. Due to the changes, this was brought back to the Board for review and approval. Mr. Sullivan asked for authorization to the District Manager and District Counsel to finalize and record the deed. Upon recording, the District would be responsible for the property that is conveyed from Four Star.

> On MOTION by Ms. Allen, seconded by Mr. Porter, with all in favor, Special Warranty Deed and Authorization to District Manager and District Counsel to Finalize, was approved.

Mr. Sullivan reported on the City of Palm Coast passing an E-bike ordinance and recommended that the Board direct District staff to go into a rule making process making allowances for adopting ordinances to match the City's. The ordinance provides a few different parameters including that you have to be over the age of 11 to ride an E-bike on any Palm Coast sidewalk or roadway, you have to carry a State issued photo ID, and there is a speed limit you have to abide by.

> On MOTION by Mr. Porter, seconded by Ms. Allen, with all in favor, Authorizing District Staff to Begin a Rule Making Process for E-bike Ordinances, was approved.

Mr. Sullivan asked for approval to enter into an interlocal agreement with the Flagler County Seriff's Department to enforce the ordinance following the Board approving the rule making process. Information about cost and this process will be brought back when there is more information.

B. Engineer and Maintenance Report

There being no comments, the next item followed.

C. District Manager's Report

i. Approval of Check Register

Mr. LeBrun presented the check register from the general fund and there was a motion of approval.

> On MOTION by Mr. Porter, seconded by Ms. Allen, with all in favor, the Check Register, was approved.

ii. Balance Sheet and Income Statement

Mr. LeBrun presented the unaudited financials for Board review. No action was required.

SEVENTH ORDER OF BUSINESS **Other Business**

There being no comments, the next item followed.

EIGHTH ORDER OF BUSINESS **Supervisor's Requests**

Mr. Porter asked about the potential of changing the meeting time. Mr. LeBrun noted that there is not an anticipation of the meeting before the Palm Cost Park meeting running over in the future and if it continues to be a problem they will address it with that Board.

NINTH ORDER OF BUSINESS **Adjournment**

Mr. LeBrun asked for a motion to adjourn the meeting.

> On MOTION by Mr. Porter, seconded by Mr. Hobson, with all in favor, the meeting was adjourned.

_____ _____

Secretary/Assistant Secretary Chairman/Vice Chairman

SECTION IV

SECTION A

Developer Funding Agreement
Reverie Landscape Contract Addendum Costs

This Developer Funding Agreement (the "Agreement") is made and entered into as of the ____ day of _____, 2025, by and between the **Palm Coast Park Community Development District,** a local unit of special-purpose government established pursuant to Chapter 190, Florida Statutes, and located in Palm Coast, Flagler County, Florida (hereinafter "**District**"), and **Dream Finders Homes ,** (hereinafter "**Developer**").

Recitals

WHEREAS, the District is a local unit of special-purpose government established pursuant to Chapter 190, Florida Statues and located in Palm Coast, Flagler County, Florida, (the "**City**") for the purpose of planning, financing, constructing, operating and/or maintaining certain infrastructure; and

WHEREAS, the District will need a funding mechanism to enable it to cover the costs of the approved landscape addendum due to an increase in scope of services; and

WHEREAS, the district had originally allocated $212,000 in the FY2026 budget for landscape maintenance services for the Reverie section within Palm Coast Park CDD and the approved landscape addendum will cost the district a total of $274,992 in FY2026 due to an increase in the scope of services; and

WHEREAS, the addendum is an added cost of $62,992 to the district for FY2026; and

NOW, THEREFORE, based upon good and valuable consideration and the mutual covenants of the parties, the receipt and sufficiency of which are hereby acknowledged, the parties agree as follows:

1. Developer Funding: The Developer agrees to make available to the District the monies necessary for the costs of the landscape addendum resulting from the increase in scope of services attached as exhibit A. The monies will be in the amount Not To Exceed $78,000 which is the anticipated amount that is above the allocated $212,000 budgeted for landscape maintenance in FY2026. The developer is only responsible for the landscape maintenance costs that exceed the $212,000 FY2026 budgeted amounts for Reverie and only up to the Not to Exceed Amount of $63,000 as described above.

2. This Agreement shall constitute the final and complete expression of the agreement between the parties relating to the subject matter of this Agreement. Amendment to and waivers of the provisions contained in this Agreement may be made only by an instrument in writing which is executed by both of the parties hereto.

3. The execution of this Agreement has been duly authorized by the appropriate body or official of all parties hereto, each party has complied with all the requirements of law, and each party has full power and authority to comply with the terms and provisions of this instrument.

4. This Agreement may be assigned, in whole or in part by either party only upon the written consent of the other. Any purported assignment without such written consent shall be void.

5. A default by either party under this Agreement shall entitle the other to all remedies available at law or in equity, which shall include, but not be limited to, the right of damages and specifically including the ability of the District to enforce any and all payment obligations under this

Agreement through the imposition and enforcement of a contractual or other lien on property owned by the Developer.

6. In the event that either party is required to enforce this Agreement by court proceedings or otherwise, then the parties agree that the prevailing party shall be entitled to recover from the other all costs incurred, including reasonable attorneys' fees and costs for, trial alternative dispute resolution, or appellate proceedings.

7. This Agreement is solely for the benefit of the formal parties herein and no right or cause of action shall accrue upon or by reason hereof, to or for the benefit of any third party not a formal party hereto. Nothing in this Agreement expressed or implied is intended or shall be construed to confer upon any person or corporation other than the parties hereto any right, remedy or claim under or by reason of this Agreement or any provisions or conditions hereof; and all of the provisions, representations, covenants and conditions herein contained shall inure to the sole benefit of and shall be binding upon the parties hereto and their respective representatives, successors and assigns.

8. This Agreement and the provisions contained herein shall be construed, interpreted and controlled according to the laws of the State of Florida with venue being in Circuit Court of the Seventh Judicial Circuit, Flagler County Florida.

9. This Agreement has been negotiated fully between the parties as an arm's length transaction. The parties participated fully in the preparation of this Agreement with the assistance of their respective counsel. In the case of a dispute concerning the interpretation of any provision of this Agreement, the parties are each deemed to have drafted, chosen and selected the language, and the doubtful language will not be interpreted or construed against any party.

10. The Agreement shall be effective after execution by both parties hereto.

IN WITNESS WHEREOF, the parties execute this agreement the day and year first written above.

Dream Finders Homes

By:_____

Name:_____

Title:_____

Palm Coast Park Community Development District.

By:_____
Jeff Douglas,
Chair of the Board of Supervisors

SECTION B

UNITED Land Services

CHANGE ORDER ADDENDUM

This Change Order Addendum (the "***Agreement***") is entered into this 13th day of October, 2025 between Reverie at Palm Coast CDD (the "***Customer***"), and Florida ULS Operating , LLC DBA United Land Services (the "***Contractor***"). Contractor is in the business of providing landscape maintenance services and Customer desires to contract with Contractor to provide landscape maintenance services to Customer and certain properties managed by Customer.

Landscape customer wishes to obtain landscape services for the following work:

Increased Scope for Reverie at Palm Coast:	Current Monthly Pricing $11,667.00
	Increased Scope Monthly Pricing $22,916.00
	Change Order $11,249.00

The Additional Services are to be performed to the following address:

1 Reverie Dr. North Palm Coast, FL 32137

Changes in Service. Any changes to the Services must be in writing and signed by Customer and Contractor. The changes in the services or services areas may result in additional charges and may modify the schedule of current services rendered.

Start Date of New Service **November 1, 2025**

Addendum Additional Pricing; Monthly **11,249.00** Yearly **134,988.00**

Term and Termination. The initial term of the Agreement Addendum shall commence on the Effective Date and, unless earlier terminated as permitted under this Agreement, shall coincide with the end date of the Master Initial Agreement of both parties. The Agreement Addendum shall automatically renew for successive one year periods as follows on the initial agreement. The Agreement Addendum is in addition to the already agreed upon signed contract between both parties. All articles listed on the Master Agreement will remain in effect upon signing the Agreement Addendum.

CUSTOMER	CONTRACTOR
Name: _____	Name: _____
Title: _____	Title: _____
Date : _____	Date: _____

SECTION C

Uniting partners through exceptional landscape services

UNITED
Land Services

Reverie at Palm Coast

Scope of Services

Summary

Exhibit A: Scope of Services Summary

Annual Maintenance Outline

The following outline details our proposed scope of services and offerings to be provided by our service teams, to ensure we meet the specific needs of your project as governed by our agreement.

LANDSCAPE MAINTENANCE PROGRAM

1. **Turf Grass Mowing**
    a. Mowing schedule based on climate and turf type.
    b. Growing season consists of mid March - mid October
    c. Non Growing season conisits of mid October - mid March
    d. Mowing height to be adjusted based on turf type.
    e. Cuts postponed because of weather to be made up as soon as possible.
    f. Hard edging (concrete) will be done per cut, soft edge will be done every other cut. Landscape beds containing rock will not be mechanically edged.
    g. Areas to small to mow will be completed with a string trimmer or push mower.
    h. All debris created during maintenance operations will be removed and or blown from adjacent surfaces.
    i. Ponds will be serviced on a rotating schedule
2. **Ornamental Detailing**
    a. Detail operations will be completed in a sectional manner once monthly.
    b. Plant material will be trimmed to retain the natural shape and function of the plant using Best Management Practices and techniques. Plant material and trees will be maintained off of all buildings. Hedges will be kept at a standard height (below windows).
    c. Trees will have trunks cleared of sprouts and elevated to 8' in Green areas and 10' in Paved areas.
    d. Palms under 10' will have brown fronds removed during detail rotation.
    e. Post emergent herbicide will be used in landscape beds to control unwanted weeds and vegetation after they have sprouted per seasonal needs.
3. **Fertilization & Pest Control Services**
    a. Applications will adhere to any State and Local ordinance including Blackout Periods.
    b. Fertilizer composition (NPK, Nitrogen, Phosphorous, Potassium) will be determined based on site needs. Turf will be fertilized using a premium slow release granular fertilizer.
    c. Pre and Post Emergent Herbicides will be used seasonally to control weeds in turfgrass. Pre Emergent is defined as herbicides to prevent weed germination in the non growing season. Post Emergent Herbicides are defined as chemically controlling weeds after they have sprouted in the growing season.
    d. All applications will be used as directed by the manufacturers instructions for use and in accordance with all State and Federal regulations / guidelines.
    e. Ornamental Plants, Trees & Palms will receive a balanced fertilizer at appropriate rates, typically in spring and fall months. This fertilizer is designed for the root systems of the plants, trees and palms.

Scope of Services Summary

Annual Maintenance Outline

4. Irrigation Inspections & Maintenance

a. System will be inspected monthly for operational efficiency and condition.

b. Visual inspection will include controller and electronic components, spray and rotor heads and shrub risers.

c. Minor adjustments for efficiency will be made during inspection, including seasonal adjustments.

d. Monthly legible easy to read reports will be sent to the HOA.

e. Pre-approval per repair up to ***$250 with photo documentation will be performed and sent to Property Management.

f. Homes with workorders for adjustments with the clock or nozzles spraying homes will be addressed at this time (monthly inspection) and closed.

g. Repairs for malfunctioning, broken or worn out components (heads, line breaks, controllers and electronics, pumps, etc.) will be done after client approval.

h. *** Pre-approved repairs cover repairs that prevent the system from operating property

5. Seasonal Color (Annuals) Installation

a. If cost is not included in the monthly billing, installation will be done upon authorized approval from Board of Directors or CAM.

b. Flower type will be selected based on climate, availability at time of install and coordination with adjacent neighborhood associations to ensure uniformity.

c. Flower beds will be maintained to remove faded or dead plants and to ensure optimal bloom production and neat appearance.

d. Commercial fertilizer will be applied to all areas at time of install with follow up applications of micro nutrient, fungicide and pesticide based on flower type and Best Management Practices.

e. Standard Annuals to be used for quarterly changeouts. Premium varieties to incur additional cost.

f. Seasonal color is not provided at homes, only common areas.

6. Mulch & Pine Straw Installation

a. If cost is not included in the monthly billing, installation will be done upon authorized approval from Board of Directors or CAM.

b. Mulch will be installed at timeframe determined by HOA.

c. Mulch to be mini pine nuggets installed 1x per year upon approval.

d. Installation method to be determined by contractor, either bagged product or bulk install with blower truck.

e. Mulch removal will be discussed on a 3-5 year schedule on a time and material basis.

Scope of Services Summary

Annual Maintenance Outline

ADDITIONAL SERVICES AND TEAM EXPECTATIONS

1. **Extra Services**
    a. We will provide extra/special services based on agreement and specifications set forth by the Client
2. **Team Expectations**
    a. Our field personnel will be licensed for all applicable maintenance duties, included any pesticide applications, as required by law.
3. **Damages**
    a. ULS has first option to repair any damages prior to HOA preferred vendor.
3. **Appearance**
    a. Our team is required to maintain a professional and well-groomed appearance at all times.
4. **Service**
    a. Services to include a combination of maintenance items actions listed on the frequency chart and the SOP
5. **Warranty**
    a. All plant material installed and maintained by United Land Services will be warrantied for 1 year from installation date.

Scope of Services Summary

Summary of Scope of Services

Services Type	Frequency
Mowing	42*
String Trimming	42
Hard Edging	42
Soft Edging	21
Blowing	42
Pre-Emergent Weed Control	Seasonally
Post-Emergent Weed Control	Seasonally
Turf Fertilization	8
Shrub Fertilization	2
Irrigation Maintenance and Monitoring	12
Bed Maintenance (Pruning)	12
Installation of Mulch (1x Mini Pine)	1
Annual Installation (See Price Breakdown)	4
Property Service Visits	52

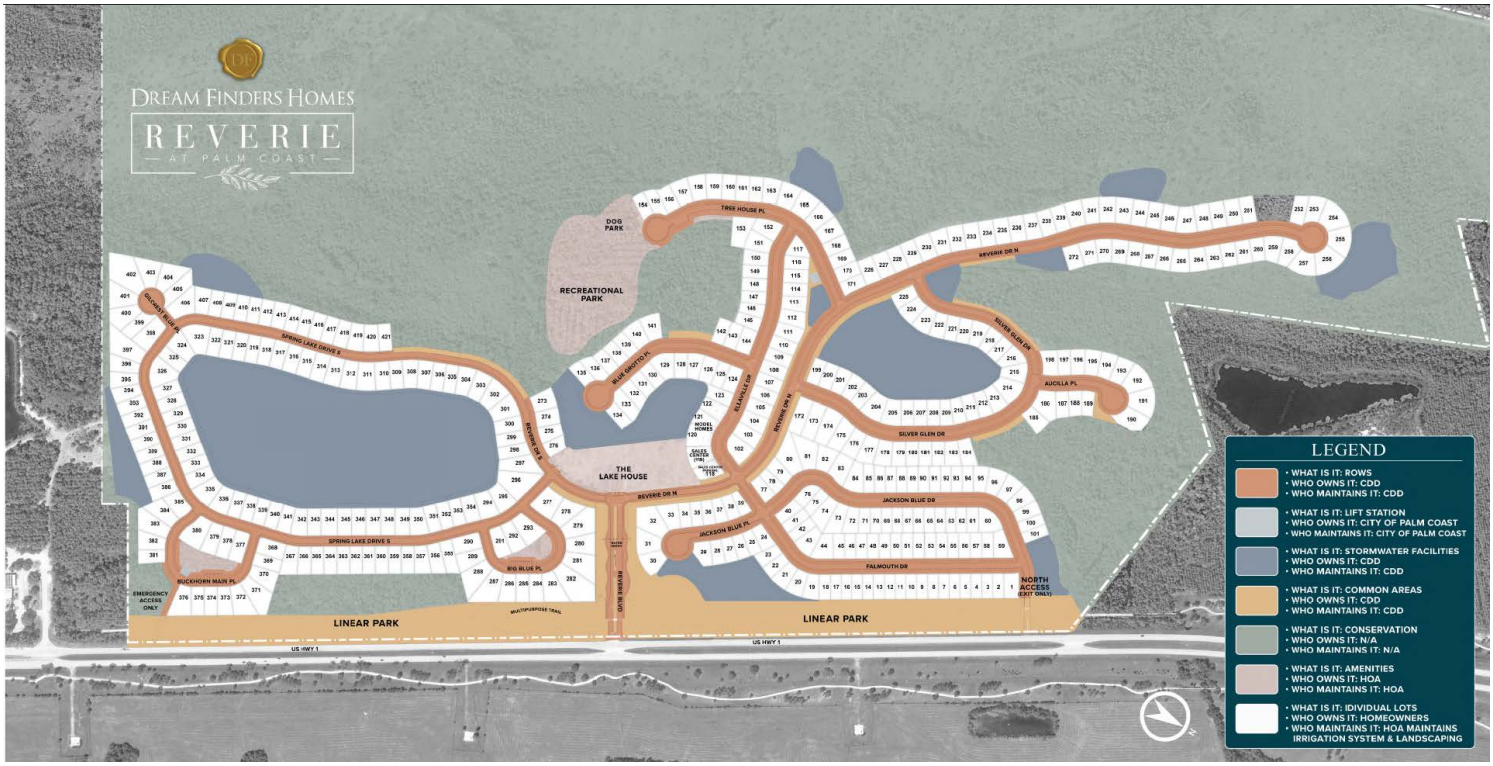
* If mowing cannot be performed due to site conditions (rain, saturated turf) other services will be provided as listed in frequency chart / sop.

UNITED Land Services

Frequency Chart - Reverie at Palm Coast

Function	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Total
PROPERTY VISITS	4	4	4	5	4	4	5	4	4	5	4	5	52
MOWING GROWING SEASON			2	5	4	4	5	4	4	2			30
MOWING NON GROWING SEASON	2	2	2							2	2	2	12
PROPERTY INSPECTIONS	1	1	1	1	1	1	1	1	1	1	1	1	12
POND MOWING	1	1	2	2	3	3	3	3	2	2	1	1	24
CLEAN WALKS & CURBS	4	4	4	5	4	4	5	4	4	5	4	5	52
EDGING BEDS	1	1	2	2	2	2	3	2	2	2	1	1	21
EDGING WALKS	2	2	4	5	4	4	5	4	4	4	2	2	42
TRIM SHRUBS	1	1	1	1	1	1	1	1	1	1	1	1	12
WEED BEDS	3	2	2	4	5	4	4	5	4	5	2	2	42
TRIM PALMS (See Price Pages)							1						1
TREE TRIMMING												1	1
REJUVINATION PRUNE (Grasses)		1											1
SPRINKLER INSPECTIONS	1	1	1	1	1	1	1	1	1	1	1	1	12
ANNUAL REPLACEMENT (See Price Pages)		1			1			1			1		4
MULCH (See Price Pages)				1									1
HORTICULTURE INSPECTIONS			1	1	1	1	1	1	1	1			8
FERTILIZE LAWNS-ST. AUGUSTINE			1	1	1	1	1	1	1	1			8
INSECT CONTROL-ST. AUGUSTINE			1	1	1	1	1	1	1	1			8
FERTILIZE BAHIA	N/A												
FERTILIZE PALMS					1					1			2
FERTILIZE PLANTS					1					1			2
INSECT CONTROL-PLANTS					1					1			2

Map - Reverie at Palm Coast



Your Investment

UNITED Land Services

Exhibit B: Your Investment

Landscape Management Proposal - CDD

Contract Maintenance Reverie at Palm Coast (Commons)	Monthly	Yearly
Core Maintenance Includes Mowing, Edging, Weed-eating, Debris Blowing, Shrub Pruning, Tree Trimming, Weeding & Cleanup.	$ 6,839	$ 82,068
Irrigation Inspections Includes Minor Adjustments, Seasonal Clock Adjustments, with Monthly Reports	$ 247	$ 2,964
Fertilization & Chemical Treatments Includes Turf & Shrub Fertilization & Pest Control Applications	$ 4,896	$ 58,752
Mulch Furnish and install 290cy Mini Pine Nuggets	$ 1,406	$ 16,872
Total for Landscape Maintenance	$ 13,388	$ 160,656

*** All Services above are outlined in more detail in the scope of services page**
*** Includes Irrigation Wet Checks On All Irrigated Areas**

UNITED Land Services

Exhibit B: Your Investment

Landscape Management Proposal - CDD

Contract Maintenance Reverie at Palm Coast (Entry)	Monthly	Yearly
Core Maintenance Includes Mowing, Edging, Weed-eating, Debris Blowing, Shrub Pruning, Tree Trimming, Weeding & Cleanup	$ 2,782	$ 33,384
Irrigation Inspections Includes Minor Adjustments, Seasonal Clock Adjustments, with Monthly Reports	$ 50	$ 600
Fertilization & Chemical Treatments Includes Turf and Shrub Fertilization & Pest Control Applications	$ 1,153	$ 13,836
Mulch Furnish and Install 35cy Mini Pine Nuggets	$ 169	$ 2,028
Palm Pruning Prune 8 Specialty Palms and 10 Standard Palms, Remove all Debris Generated	$ 120	$ 1,440
Annuals Furnish and Install 720 (4 inch) premium annuals, Total for Year is 2,880	$ 840	$ 10,080
Total for Landscape Maintenance	$5,114	$61,368

*** All Services above are outlined in more detail in the scope of services page**
*** Includes Irrigation Wet Checks On All Irrigated Areas**

Exhibit B:Your Investment

Landscape Management Proposal - CDD

Contract Maintenance Reverie Palm Coast Ponds	Monthly	Yearly
Core Maintenance Includes Mowing and String trimming	$ 3,048	$ 36,576
Total for Landscape Maintenance	$ 3,048	$ 36,576

*** All Services above are outlined in more detail in the scope of services page**

Exhibit B: Your Investment

Landscape Management Proposal - CDD

Contract Maintenance Reverie Palm Coast (ROW)	Monthly	Yearly
Core Maintenance Includes Mowing, Edging, Weed-eating, Debris Blowing, & Cleanup	$ 1,366	$ 16,392
Total for Landscape Maintenance	$ 1,366	$ 16,392

*** All Services above are outlined in more detail in the scope of services page**

*** Includes irrigation wet checks on all irrigated areas**

UNITED Land Services

SERVICES AGREEMENT

This Services Agreement (the "***Agreement***") is entered into this 29th day of September 2025 between Reverie at Palm Coast CDD (the "***Customer***"), and Florida ULS Operating, LLC DBA United Land Services, LLC ,(the "***Contractor***"). Contractor is in the business of providing landscape maintenance services and Customer desires to contract with Contractor to provide landscape maintenance services to Customer and certain properties managed by Customer in accordance with the following terms and conditions of this Agreement.

Service Address:
7699 US HWY 1 Nortrh Palm Coast, FL 32137

Bill to Address
219 E. Livingston St. Orlando, FL 32801

1. *Term.* The initial term of the Agreement shall commence for a three (3) year period commencing on November 1, 2025 and ending on October 31, 2028. After expiration of the initial term, the Agreement shall continue on a month-to-month basis unless terminated by either party upon thirty (30) days prior written notice.

2. *Services*. Contractor agrees to provide the Customer with the scope of services set forth in **Exhibit A** (the "Services"). Contractor agrees to provide all labor, material, equipment, and supervision to perform the duties outlined by this Agreement, except that Customer shall provide any water and utilities necessary for Contractor to perform the Services. Contractor warrants to the Customer that: (i) Contractor will perform the Services in a workmanlike manner in accordance with reasonable prevailing industry standards; (ii) Contractor shall comply with all applicable laws; (iii) Contractor has no outstanding agreement or obligation that is in conflict with any of the provisions of this Agreement or that would preclude Contractor from complying with the provisions of this Agreement. Contractor shall not be liable for any nonperformance, delays, or alleged deficient performance resulting from any environmental issues, including drought, hurricane, flooding, tornados, rainfall, storms, earthquakes, or other disasters or weather events, any governments actions or changes in law, any wars, acts of terrorism, epidemics, shortages, strikes or other labor issues, or other causes beyond the control of Contractor. Contractor's liability to Customer for any alleged non-performance under this Agreement shall be expressly limited to the amount of compensation actually received by Contractor for the disputed scope of work.

3. *Compensation*. In consideration of the Contractor's performance of the Services, the Customer agrees to pay Contractor the fees set forth on **Exhibit** B for the total monthly amount of $22,916.00. On each anniversary date of this Agreement, the agreed upon fees for Contractor's Services shall be increased by 3% over the previous year's level or CPI, whichever is greater. Customer shall be responsible for all sales, use, and other taxes with respect to all amounts paid by the Customer to Contractor under this Agreement other than taxes on Contractor's income. All payments shall be made by direct electronic payment.

4. *Confidentiality.* Customer acknowledges this agreement along with any documentation, financial data, designs and plans provided by the Contractor are confidential information and shall not be disclosed by the Customer to any other person or entity, except as required by law.

5. *Late Payment.* If payment is not received within 30 days of invoicing, a 1.5% per month late fee will be applied to all unpaid balances. Should Contractor need to pursue legal action to collect any amounts owed, Customer agrees to pay Contractor's reasonable attorney's fees, court costs, and all other expenses incurred.

6. ***Termination.*** Customer shall pay for all services performed up to the effective date of any valid termination. Customer or Contractor, upon 30 days prior written notice to other party, may terminate this Agreement without cause.

7. *Notices.* Any notice required to be sent to the Contractor under this Agreement shall be sent to the following address unless otherwise specified: Attention Derek Allen 1240 Lawn Care Rd. Green Cove Springs, FL 32043. Any notice required to be sent to the Customer under this Agreement shall be sent to the Service Address specified above, or to such other address as Customer hereafter provides.

8. ***Insurance.*** Contractor acknowledges and agrees that it shall be solely responsible for securing and maintaining all insurance coverage for itself and its employees, including without limitation, commercial general liability, workers' compensation and employers' liability, comprehensive automobile, and umbrella liability. Contractor shall provide proof of insurance coverage prior to commencement and shall not cancel or change any coverage without providing Customer written notice.

9. ***Licenses.*** Contractor shall maintain all applicable licenses and permits within the cities, counties, and states of operations.

10. ***Indemnification.*** Each party, to the extent permitted by law, will indemnify, defend and hold harmless the other party, its affiliates, and all of their directors, officers, employees, agents and representatives from and against all claims, liabilities, damages, losses or expenses to the extent arising out of any negligence, willful misconduct, breach of contract or violation of law for which the indemnifying party, its employees, agents, subcontractors, or assigns in the performance of work under this Agreement is at fault. In the event the parties are jointly at fault, each party will indemnify the other in proportion to its relative fault.

11. **Right to Cure**. Should customer determine that Contractor has provided defective, deficient, or destructive work ("complaint", it shall provide written notice withing 48 hours of the alleged occurrence or any claim shall be deemed to be waived. Upon receipt of any said complaint, Contractor shall have seven (7) days to address any said complaint. The failure to allow the Contractor to address any complaint will serve as a waiver of any claim related to the alleged claim.

12. **Contractual Lien**. The Customer grants Contractor, in addition to any other rights and remedies allowed under the applicable law, a lien on the real and personal property related to the project to secure payment for all sums due and owing under this agreement. The Contractor shall be entitled to recover its reasonable attorney fees and costs in any action related to the recovery of sums owed by Customer.

*13***.** Miscellaneous. Contractor enters into this Agreement as an independent contractor. Contractor shall be solely responsible for all taxes, withholdings, and other similar statutory obligations with respect to its employees, including without limitation, Worker' Compensation Insurance. Either party may assign this Agreement to an affiliate or to any successor entity or purchaser of a substantial portion of the assets of such party that relate to the subject matter of this Agreement without the other party's consent but with written notice. This Agreement shall be governed by the laws of the State of Florida. The exclusive jurisdiction for the resolution of any disputes arising out of or relating to this Agreement shall be in a court of competent jurisdiction in Duval County, Florida. This Agreement constitutes the entire agreement between the parties with respect to the subject matter hereof and supersedes and replaces all prior and contemporaneous understandings or agreements, written or oral, regarding such subject matter. No amendment or modification of this Agreement will be binding unless in writing and signed by a duly authorized representative of both parties.

[Signature Page Follows]

IN WITNESS WHEREOF, the undersigned parties have executed this Agreement as of the day and year first above written.

CONTRACTOR	**CUSTOMER**
Florida ULS Operating, LLC DBA United Land Services, LLC	
_____	_____
Signature	Signature
_____	_____
Date	Date

SECTION 1

Reverie at Palm Coast - CDD

SCOPE	Frequency	Original Contract Phase 1	New Contract Phase 1 & 2
Commons		**Not included**	**$160,656**
Core Maintenance	42		**X**
Irrigation Inspections	12		**X**
Fertilization & Chemical Treatments	8 turf/2 shrub		**X**
Mulch	290 cuyd		**X**
Entry		**Addendum $7,500**	**$61,368**
Core Maintenance	42	**X**	**X**
Irrigation Inspections	12		**X**
Fertilization & Chemical Treatments	8 turf/2 shrub		**X**
Mulch	35 cuyd		**X**
Palm Pruning	8 specialty/10 standard		**X**
Annuals	720 x 4		**X**
Ponds		**Addendum $48,708**	**$36,576**
Core Maintenance	24	**21 X**	**X**
ROW		**$13,937.28**	**$16,392**
Core Maintenance	42	**X**	**X**
Buffer		**$69,860.88**	**Included in commons**
Core Maintenance	42	**X**	**X**
Irrigation Inspections	12	**X**	**X**
Fertilization & Chemical Treatments	8 turf/2 shrub	**2turf/2shrub X**	**X**
Total		**$140,006.19**	**$274,992**

SECTION D

RESOLUTION 2026-02

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE PALM COAST PARK COMMUNITY DEVELOPMENT DISTRICT APPROVING AN AMENDMENT TO THE GENERAL FUND BUDGET FOR SPRING LAKE REVERIE FOR FISCAL YEAR 2026 AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, pursuant to Resolution 2026-02 the Palm Coast Park Community Development District Board of Supervisors (the "Board") adopted a General Fund Budget for Spring Lake Reverie for Fiscal Year 2026; and

WHEREAS, the Board desires to amend the budgeted revenues and expenditures approved for Fiscal Year 2026.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE PALM COAST PARK COMMUNITY DEVELOPMENT DISTRICT:

1. The General Fund Budget for Spring Lake Reverie for Fiscal Year 2026 is hereby amended and restated as set forth on the Fiscal Year 2026 Budget attached hereto as **"Exhibit A"**.

2. This Resolution shall take effect immediately upon adoption and be reflected in the monthly and Fiscal Year End 9/30/2026 Financial Statements and Audit Report of the District.

PASSED AND ADOPTED THIS 21th DAY OF NOVEMBER 2025.

ATTEST:

BOARD OF SUPERVISORS OF THE PALM COAST PARK COMMUNITY DEVELOPMENT DISTRICT

_____
Secretary/Assistant Secretary

By:_____

Its:_____

Palm Coast Park

Community Development District

Amended Budget

FY 2026

Palm Coast Park
Community Development District

Table of Contents

Elevation Pointe
Community Development District
FY 2026 Budget Amendment
General Fund - Spring Lake Reverie

Description	Adopted FY26 Budget	Increase/ (Decrease)	Amended FY26 Budget
Revenues			
Operations and Maintenance Assessments	$ 460,601	$ -	$ 460,601
Developer Contributions	-	63,000	63,000
Total Revenues	**$ 460,601**	**$ 63,000**	**$ 523,601**
Expenditures			
Administrative			
Tax Collector Fees	$ 7,812	$ -	$ 7,812
Arbitrage	600	-	600
Trustee Fees	4,500	-	4,500
Dissemination Agent	2,704	-	2,704
Postage and Freight	750	-	750
Attorney Fees	1,000	-	1,000
Other Current Charges	250	-	250
Total Administrative	**$ 17,616**	**$ -**	**$ 17,616**
Operations & Maintenance			
Field Expenses			
Professional Fees	7,200	-	7,200
Landscape Maintenance	212,000	63,000	275,000
Electricity - Streetlights	62,000	-	62,000
Electricity - Irrigation/Signs	1,000	-	1,000
Utility - Irrigation	35,000	-	35,000
R&M - Signage	1,000	-	1,000
R&M Storm Water Pond	15,600	-	15,600
Insurance - Property & Casualty	12,500	-	12,500
Repairs and Maintenance	7,500	-	7,500
Contingency	5,000	-	5,000
Stormwater Fee	46,185	-	46,185
Subtotal Field Expenses	**$ 404,985**	**$ - $ 63,000**	**$ 467,985**
Other Expenditures			
Capital Reserve	$ 38,000	$ -	38,000
Total Other Expenditures	**$ 38,000**	**$ - $ -**	**$ 38,000**
Total Expenditures	**$ 460,601**	**$ - $ 63,000**	**$ 523,601**
Excess Revenues (Expenditures)	$ -	$ -	$ -
NET CHANGE IN FUND BALANCE	**$ -**	**$ -**	**$ -**
Fund Balance - Beginning	$ -	$ -	$ -
Fund Balance - Ending	$ -	$ -	$ -

Description	Units	FY 2025 Assessments	FY 2026 Assessments
Net Annual Assessment		$351,841	$460,601
Add:Discounts (4%)		$14,074	$19,192
Gross Assessment		$366,501	$479,793
Units		421	421
Gross Per Unit		$ 870.55	$ 1,139.65

SECTION V

RESOLUTION 2026-03

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE PALM COAST PARK COMMUNITY DEVELOPMENT DISTRICT APPROVING AN AMENDMENT TO THE GENERAL FUND BUDGET FOR SPRING LAKE REVERIE FOR FISCAL YEAR 2025 AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, pursuant to Resolution 2026-03 the Palm Coast Park Community Development District Board of Supervisors (the "Board") adopted a General Fund Budget for Sawmill Subdivision and Spring Lake Reverie for Fiscal Year 2025; and

WHEREAS, the Board desires to amend the budgeted revenues and expenditures approved for Fiscal Year 2025.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE PALM COAST PARK COMMUNITY DEVELOPMENT DISTRICT:

1. The General Fund Budget for Spring Lake Reverie for Fiscal Year 2025 is hereby amended and restated as set forth on the Fiscal Year 2025 Budget attached hereto as **"Exhibit A"**.

2. This Resolution shall take effect immediately upon adoption and be reflected in the monthly and Fiscal Year End 9/30/2025 Financial Statements and Audit Report of the District.

PASSED AND ADOPTED THIS 21st DAY OF NOVEMBER 2025.

ATTEST:

BOARD OF SUPERVISORS OF THE PALM COAST PARK COMMUNITY DEVELOPMENT DISTRICT

_____
Secretary/Assistant Secretary

By:_____

Its:_____

Palm Coast Park

Community Development District

Amended Budget

FY 2025

Palm Coast Park
Community Development District

Table of Contents

Elevation Pointe
Community Development District
FY 2025 Budget Amendment
General Fund - Sawmill Subdivision

Description	Adopted FY25 Budget	Increase/ (Decrease)	Amended FY25 Budget
Revenues			
Operations and Maintenance Assessments	$ 377,553	$ -	$ 377,553
Developer Contributions(Phase 7)	77,200	$ -	77,200
Total Revenues	**$ 454,753**	**$ -**	**$ 454,753**
Expenditures			
Administrative			
Tax Collector Fees	$ 7,853	$ -	$ 7,853
Arbitrage	1,200	-	1,200
Trustee Fees	9,000	-	9,000
Dissemination Agent	5,250	-	5,250
Postage and Freight	1,000	-	1,000
Attorney Fees	2,000	-	2,000
Other Current Charges	500	-	500
Total Administrative	**$ 26,803**	**$ -**	**$ 26,803**
Operations & Maintenance			
Field Expenses			
Professional Fees	19,200	-	19,200
Landscape Maintenance	251,000	-	251,000
Electricity - Streetlights	20,000	-	20,000
Electricity - Irrigation/Signs	4,100	-	4,100
Utility - Irrigation	50,000	-	50,000
R&M - Signage	2,000	-	2,000
R&M Storm Water Pond	41,800	-	41,800
Insurance - Property & Casualty	5,000	-	5,000
Repairs and Maintenance	12,500	-	12,500
Contingency	6,450	-	6,450
Subtotal Field Expenses	**$ 412,050**	**$ - $ -**	**$ 412,050**
Other Expenditures			
Capital Reserve	$ 47,900	$ 72,008	119,908
Total Other Expenditures	**$ 47,900**	**$ - $ 72,008**	**$ 119,908**
Total Expenditures	**$ 486,753**	**$ - $ 72,008**	**$ 558,761**
Excess Revenues (Expenditures)	$ (32,000)	$ (72,008)	$ (104,008)
Fund Balance - Beginning	$ 32,000	$ 72,008	$ 104,008
Fund Balance - Ending	$ -	$ -	$ -

Description	Units	FY 2024 Assessments	FY 2025 Assessments
Net Annual Assessment		$377,660	$377,553
Add:Discounts (4%)		$15,106	$15,103
Gross Assessment		$392,766	$392,656
Units		752	752
Gross Per Unit		$ 522.30	$ 522.15

Elevation Pointe
Community Development District
FY 2025 Budget Amendment
General Fund - Spring Lake Reverie

Description	Adopted FY25 Budget	Increase/ (Decrease)	Amended FY25 Budget
Revenues			
Operations and Maintenance Assessments	$ 351,841	$ -	$ 351,841
Developer Contributions	-	$ -	-
Total Revenues	**$ 351,841**	**$ -**	**$ 351,841**
Expenditures			
Administrative			
Tax Collector Fees	$ 7,382	$ -	$ 7,382
Arbitrage	600	-	600
Trustee Fees	4,500	-	4,500
Dissemination Agent	2,625	-	2,625
Postage and Freight	750	-	750
Attorney Fees	1,000	-	1,000
Other Current Charges	250	-	250
Total Administrative	**$ 17,107**	**$ -**	**$ 17,107**
Operations & Maintenance			
Field Expenses			
Professional Fees	7,200	-	7,200
Landscape Maintenance	212,000	-	212,000
Electricity - Streetlights	62,000	-	62,000
Electricity - Irrigation/Signs	1,000	-	1,000
Utility - Irrigation	30,000	-	30,000
R&M - Signage	1,000	-	1,000
R&M Storm Water Pond	15,000	-	15,000
Insurance - Property & Casualty	12,500	-	12,500
Repairs and Maintenance	7,500	-	7,500
Contingency	5,000	-	5,000
Subtotal Field Expenses	**$ 353,200**	**$ - $ -**	**$ 353,200**
Other Expenditures			
Capital Reserve	$ 34,000	$ 53,000	87,000
Total Other Expenditures	**$ 34,000**	**$ - $ 53,000**	**$ 87,000**
Total Expenditures	**$ 404,307**	**$ - $ 53,000**	**$ 457,307**
Excess Revenues (Expenditures)	$ (52,466)	$ (53,000)	$ (105,466)
NET CHANGE IN FUND BALANCE	**$ (52,466)**	**$ (53,000)**	**$ (105,466)**
Fund Balance - Beginning	$ 52,466	$ 53,000	$ 105,466
Fund Balance - Ending	$ -	$ -	$ -

Description	Units	FY 2024 Assessments	FY 2025 Assessments
Net Annual Assessment		$293,699	$351,841
Add: Discounts (4%)		$11,748	$14,660
Gross Assessment		$305,936	$366,501
Units		421	421
Gross Per Unit		$ 726.69	$ 870.55

SECTION VI

RULES OF THE PALM COAST PARK COMMUNITY DEVELOPMENT DISTRICT

CHAPTER II

ACQUISITION, ACCEPTANCE AND/OR CONVEYANCE OF PUBLIC IMPROVEMENTS AND REAL PROPERTY FROM DEVELOPERS

PURPOSE. The purpose of this Rule Chapter is to establish regulations pertaining to the acquisition, acceptance and/or conveyance of improvements and real property (generally referred to as "Public Property") from Developers within the District; providing definitions, including the types of property allowed to be acquired; to provide requirements for such property transfers; and to create a rate structure/fee for the District's cost of review of such conveyances providing procedures for requested waivers of these regulations; and providing an effective date.

PART I
GENERAL PROVISIONS APPLICABLE TO PALM COAST PARK COMMUNITY DEVELOPMENT DISTRICT PROPERTY ACQUISITION

SECTION 1. The Palm Coast Park Community Development District does hereby establish uniform policies and comprehensive fees for the acquisition or acceptance of "Public Property" from Developers within the District.

SECTION 2 - DEFINITIONS.

2.1 Application: As set forth in Schedule "A" to this Chapter II, a completed Application Form, as may be amended from time to time, with all required attachments.

2.2 Application Fee: A fee established by the District to defray the cost of (i) reviewing the Application and related material, and (ii) accepting the Public Property and adding it to the District asset rolls.

2.3 Public Property: Real and/or personal property and improvements owned by a Developer, but intended to be conveyed to the District for public ownership, use,

operation and maintenance as a part of the District's overall infrastructure project, that will provide a special benefit to landowners within the District and is amenable to public entity ownership.

2.4 Developer: An entity which owns lands within the District on which it has constructed, or intends to construct, residential and/or commercial developments.

2.5 District: The Palm Coast Park Community Development District as defined in Section 2.7.

2.6 Engineer: The consulting engineering firm retained by the District to perform some or all duties of the District Engineer.

2.7 Palm Coast Park Community Development District: An independent special district and a political subdivision of the State of Florida created pursuant to Chapter 190 of the Florida Statutes.

2.8 Terms "Shall" and "May": As used herein, the word "may" is permissive, and the word "shall" is mandatory.

SECTION 3 - GENERAL.

3.1 It is the general policy of the District, and a requirement of this Rule, that the District shall accept certain Public Property for which a Developer desires to transfer ownership to the District if such property is (i) within the scope of the District's "Project" as described in any Trust Indenture associated with bonds issued by the District, as may be amended from time to time by the District, or (ii) is deemed by the District to serve a public purpose and to be a benefit to the landowners of the District. The District may accept Public Property that is necessary to complete the infrastructure of, and to operate, the District, is allowable by law, provides a special benefit to the landowners within the

District, and the acceptance of which the District finds to be in the best interest of the District. Upon acceptance of ownership of such Public Property, the District shall operate and/or maintain such property in compliance with the District's standards for all other District assets.

3.2 The Developer may apply to the District for acceptance by the District of Public Property by completing the Application form as set forth in Schedule "A", a copy of which is attached hereto, as the same may be amended from time to time. Three (3) copies of the completed Application, along with three (3) sets of all required attachments, should be submitted to the District Manager by the Developer (also referred to herein as the "Applicant"); upon receipt by the District Manager, their office will send one (1) complete copy to the District's attorney and one (1) complete copy to the District Engineer (if the District Engineer has prepared the Application they need not receive a copy). A copy of the Application may also be sent by the District Manager to each member of the Board of Supervisors. Applications must be submitted by the legal owner of the Public Property, together with all other parties having a legal ownership interest in the property, that is the subject of the Application. The District Manager may agree to accept the Application and attachments via email, in the sole discretion of the District Manager.

3.3 The District shall accept Public Property by Warranty Deed or Special Warranty Deed, as determined solely by the District, (for real property) and/or Bill of Sale (for personal property) in form satisfactory to the District and customary to the type of improvement(s), if applicable. Applicant must provide an affidavit, satisfactory to the District, indicating that the costs of all labor and materials furnished and used in

construction of the improvements have been paid in full and that there are no mechanic's, materialmen's or laborer's liens and no unpaid bills for such work or materials. An owner's policy of title insurance (or, at the District's discretion, an ownership and encumbrance title report) shall be issued to the District, upon request by the District, in a form and amount reasonably acceptable to the District and at the Applicant's expense, for real property interests. If requested by the District, the Applicant shall provide a survey of real property to the District meeting the requirements of the District's staff. In the event the District is acquiring real or personal property for value, and if requested by the District, the Applicant shall provide an appraisal or "appraisal letter", dated within one (1) year of the submission of the Application, prepared by an M.A.I. certified appraiser, or other evidence of valuation acceptable to the District, establishing the value of the property subject to the proposed transfer. The Applicant shall provide any easements required by the District, as well as execute a written agreement whereby the Applicant agrees to pay, when a tax bill is issued, any and all ad-valorem taxes or assessments levied against the subject property for the year in which the property is conveyed to the District. If maintenance bonds were required by any governing jurisdiction for the improvements, the Applicant shall provide copies of such maintenance bonds with evidence that the bonds have been endorsed or otherwise transferred to the District and that the District has been listed as dual obligee on each bond. The Applicant must provide the District with an assignment of all warranties, contract rights and any other enforceable rights of the Applicant which are related or applicable to the improvements, as well as copies of any permits, plans, as-built surveys or other documentation related orapplicable to the subject property or improvements.

3.4 The District shall collect an Application Fee of $1,500.00, subject to increase for actual cost, to defray the District's costs of reviewing the Application, accepting the property and adding the property to the District's assessment and asset rolls. The $1,500.00 Application Fee shall be submitted with the Application; no Applications shall be accepted without the Application Fee. Any costs incurred by the District in excess of $1,500.00 must be paid in full by the Applicant on or before the date the District accepts the Public Property. This Application Fee is intended for the sole purpose of covering costs incurred by the District associated with reviewing and processing the Application; any additional expenses incurred by the Developer in conjunction with the Application, such as costs associated with title work, surveys, appraisals, etc., shall be the Developer's sole responsibility and are in addition to the Fee set forth herein.

3.5 In the event the District determines, in it's sole discretion, that the cost of operating and/or maintaining the Public Property cannot be accommodated in the adopted budget in effect at the time of transfer, the Developer shall be required to fund all projected operation and/or maintenance requirements for the Public Property from the date of transfer up through the date when the next fiscal year's tax assessment funds are collected and made available to the District. The District Manager shall compute such operation and/or maintenance costs, and the full payment of such costs (or other mutually acceptable arrangement) must be made before the District accepts the Property. Any funds collected in excess of actual maintenance costs associated with the Public Property will be refunded to the Applicant upon request by the Developer.

3.6 The District Engineer shall review all Applications to determine if the property and/or improvements meet the engineering specifications and requirements, if any, of the District and applicable governmental entities, and to ensure the property and/or improvements otherwise meets the standards applicable to similar District properties. The District Engineer shall assure that any permits or approvals necessary for the Public Property shall be assigned or transferred to the District. The District Engineer's review may require additional information from the Applicant (at the sole cost and expense of the Applicant) if, in the sole discretion of the District Engineer, this information is necessary or appropriate to determine a property's and/or an improvement's acceptability, condition or value.

3.7 District staff shall review the Application and, if it meets the requirements of the District, shall recommend to the Board of Supervisors that the property be accepted by the District. The District may return an Application to the Applicant if it is incomplete, is unsatisfactory, or if the Applicant is in default of any of its other obligations to the District, or has any past due financial obligations to the District (whether they be fees, assessments or monies due of any kind), irrespective of whether such obligation is related to the property which is the subject of the pending Application).

3.8 When a Developer has utilized the services of the engineering, planning or similar firm or company that also acts as District Engineer for any project situated within the District (whether such services concern the Developer's property at issue or are provided in conjunction with the construction of improvements), or that the information required to be submitted under this Rule is not applicable to the particular improvement or property, Developer may request that the District waive such requirements. The

District may consider such requests and if the District finds it is prudent or expedient to do so, the District may modify or eliminate any of the requirements of such a Developer set forth herein relating to the transfer of such parcel of Public Property.

Effective Date: _____ November 19, 2021 _____

SCHEDULE "A"

PALM COAST PARK COMMUNITY DEVELOPMENT DISTRICT
REQUEST FOR ACCEPTANCE OF REAL PROPERTY AND/OR IMPROVEMENTS

1. Applicant Name and Address:

KB HOME JACKSONVILLE
10475 FORTUNE PKWY, SUITE 100
JACKSONVILLE, FL 32256

2. Property Address/Description of Property: *(include name of subdivision)*

Subdivision: SOMERSET PHASE ONE
Street Address: WEST SIDE OF US HIGHWAY 1
General Description: 117 SINGLE FAMILY LOTS, WITH INFRASTRUCTURE

3. Legal Description of Property

SEE ATTACHED PLAT.

4. Improvements Located on the Property: *(include detailed description of improvements, dates of construction, costs of construction, name of contractor(s), engineer(s), etc.; attach copies of as-built drawings, as applicable)*

ROADS, DRAINAGE, SANITARY SEWER, DOMESTIC WATER, LIFT STATION, SIDEWALKS, LANDSCAPING, PERIMETER FENCE

PIPELINE CONSTRUCTION, INC - SITE CONTRACTOR
MATHEWS DESIGN GROUP - ENGINEER
UNITED LAND SERVICES - LANDSCAPING AND IRRIGATION

5. Description of all Warranties. Permits. Contracts. etc. Applicable to the Improvements: *(attach copies)*

DEVELOPMENT ORDER EXECUTED BY THE CITY OF PALM COAST. RECORDED 2/2/23

PIPELINE CONSTRUCTION WORK AGREEMENT EXECUTED BY PIPELINE ON 4.3.23

6. Estimated Operation and Maintenance Costs: *(include detailed description of all operation and maintenance requirements, actual and projected maintenance costs, any issues concerning such maintenance, and any and all existing contracts for the maintenance of the Property)*

7. Maintenance Bonds: *(include copies of all maintenance bonds; include proposed endorsement to the District and dual obligee rider)*

PLAT SURETY BOND: KB HOME JACKSONVILLE WITH CITY OF PALM COAST

Original Signature of Applicant

By: _____

Print: SCOTT BLUNCK

Title: VP - LAND DEVELOPMENT

The following attachments must be included with this Application:

1. Draft conveyance document (deed or bill of sale, as applicable)
2. Draft affidavit of no liens
3. Title work concerning the Property (as applicable and if required)
4. Survey with legal description (if required)
5. Appraisal or appraisal letter providing estimated value of property (if required)
6. Drafts of any required easements
7. Draft of agreement regarding the payment of ad-valorem taxes (if applicable)
8. Copies of all warranties from contractors, subcontractors and suppliers and proposed assignment of same to the District
9. Copies of all maintenance bonds with proposed endorsement and dual obligee rider
10. "As-built" drawings for all improvements
11. Copies of all applicable permits and utility certifications
12. Design basis for infrastructure and all related calculations
13. Application Fee - minimum payment of $1,500.00 made payable to Palm Coast Park Community Development District

For Office Use Only:

I.	_____	Date Application received by District Manager.
	_____	Copy sent to District Counsel, District Engineer and Board of Supervisors.
II.	_____	Date property accepted by Board of Supervisors.

Instrument No: 2023004172 2/2/2023 9:41 AM BK: 2754 PG: 343 PAGES: 5 -
RECORDED IN THE OFFICIAL RECORDS OF Tom Bexley, Clerk of the Circuit Court & Comptroller Flagler, FL

Prepared By:
Community Development Department
City of Palm Coast
160 Lake Avenue, Suite 135
Palm Coast, FL 32164

Reserved for Recording Information:

Return To:
City Clerk
City of Palm Coast
160 Lake Avenue, Suite 225
Palm Coast, FL 32164

CITY OF PALM COAST

SUBDIVISION PRELIMINARY PLAT

DEVELOPMENT ORDER APPROVAL

SOMERSET AT PALM COAST PARK TRACT 15

On January 5, 2023, the City of Palm Coast issued this Development Order relating to and touching and concerning the following described property:

PART OF SECTION 33, TOWNSHIP 10 SOUTH, RANGE 30 EAST AND SECTION 4, TOWNSHIP 11 SOUTH, RANGE 30 EAST, FLAGLER COUNTY, FLORIDA

(The afore described property description has been provided to the City of Palm Coast by the owner of the afore described property.)

FINDINGS OF FACT

Property Owner: **KB HOME JACKSONVILLE, LLC**
10475 FORTUNE PARKWAY SUITE 100
JACKSONVILLE, FL 32256

Project Name: **SOMERSET AT PALM COAST PARK TRACT 15**
Project No.: **2021090060**
Application Type: **SUBDIVISION PRELIMINARY PLAT**
Application No. **5174**

Requested Development Approval:
Preliminary Plat Approval for Single Family Residential

Zoning District: Master Planned Development (MPD)
FLUM: Mixed Use
Parcel Nos: 04-11-30-0000-01010-00B7; 33-10-30-0000-01030-00B7 AND 33-10-30-0000-01030-00B8
Site S.F.: 162+/-
Number Lots/Units Approved with Plat: 418

CONCLUSIONS OF LAW

The Development Approval sought is consistent with the *City of Palm Coast Comprehensive Plan* and will be developed consistent with and in compliance to applicable land development regulations and all other applicable regulations and ordinances as set forth in the Code of Ordinances of the City of Palm Coast.

The Owners have expressly agreed to be bound by and subject to the development conditions and commitments stated below and have covenanted and agreed to have such conditions and commitments run with, follow, and perpetually burden the afore described property.

ORDER

NOW, THEREFORE, IT IS ORDERED AND AGREED THAT:

(1) The aforementioned application for Development Approval is **GRANTED**.

(2) All development of the property shall fully comply with all of the codes and ordinances in effect in the City of Palm Coast at the time of issuance of a development order and/or development permit, including but not limited to, all impact fee ordinances.

(3) Issuance of a development permit or development order by a municipality does not create any right on the part of an applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the municipality for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

this development approval, which have been accepted by and agreed to by the Owner of the property is a follows (the following comments by staff must be addressed with the Final Plat):

Reviewing Department Comments

OASB - FLAGLER COUNTY SCHOOL BOARD

Marked INFORMATION By: DAMARIS RAMIREZ - (386)986-3750 - DRAMIREZ@PALMCOASTGOV.COM

Informational Comment:

Owner shall coordinate with Flagler County School Board in accordance with the Interlocal Agreement to address school concurrency and finalize mitigation schedule impact for students for this project prior to recording the final plat.

OASUR - 2ND PARTY SURVEYOR

Held By: DAMARIS RAMIREZ - (386)986-3750 - DRAMIREZ@PALMCOASTGOV.COM

Project will be reviewed at Final Plat.

TRENG - TRAFFIC ENGINEER

Marked INFORMATION By: MIKE GRUNEWALD - (386)986-3740 - mgrunewald@palmcoastgov.com

FDOT is investigating the final solution for the primary entrance whether the stop solution is appropriate and whether the U-turn at the southern intersection may need improvement.

POFFIC - POST OFFICE

Marked INFORMATION By: DAMARIS RAMIREZ - (386)986-3750 - DRAMIREZ@PALMCOASTGOV.COM

Mail Kiosk Detail shall be submitted with the Amenity Center Construction Plans. Please submit for a technical site for review for the Amenity as soon as you can to prevent mail delivery issues.

PLC - PLANNING PROJECT MANAGER

Marked INFORMATION By: DAMARIS RAMIREZ - (386)986-3750 - DRAMIREZ@PALMCOASTGOV.COM

At Final Plat:

1. Haul Road agreement is under review. We will need to record the easement prior to final plat approval.

(5) This Development Order touches and concerns the afore described property and the conditions, commitments and provisions of this Development Order shall perpetually burden, run with and follow the said property and be a servitude upon and binding upon said property unless released in whole or in part by action of the City of Palm Coast by virtue of a document of equal dignity herewith. The Owners have expressly covenanted and agreed to this provision and all other terms and provisions of this Development Order.

(6) The terms and provisions of this Order are not severable and in the event any portion of this Development Order shall be found to be invalid or illegal then the entire Development Order shall be null and void.

(7) The Development Order shall remain valid for a period of twelve (12) months from the date of issuance. If construction has not commenced or is not continuing in good faith to

conclusion during this valid period, this Development Order will expire. The Development Order may be extended, upon request, during the period of three (3) months before the expiration of the valid period. Staff may approve an extension not to exceed (12) months. A maximum of three (3) extensions may be granted provided the development has a valid Certificate of Concurrency.

(8) No construction of any TYPE shall commence until a mandatory pre-construction meeting has been conducted with City Staff.

(9) Utility fees and applicable agreements shall be executed prior to construction.

(10) All required federal, state, county, and/or local permits shall be acquired prior to construction.

Done and Ordered on the date first written above.

As approved and authorized for execution by the
the City of Palm Coast, through administrative review.

City of Palm Coast, Florida

Ray Tyner, Deputy Chief Development Officer

Sign and Record

OWNER'S CONSENT AND COVENANT:

Project Name: SOMERSET AT PALM COAST PARK TRACT 15
Project No.: 2021090060
Application Name: SUBDIVISION PRELIMINARY PLAT
Application No.: 5174

COMES NOW, KB HOME JACKSONVILLE, LLC, the Owner on behalf of itself and its successors, assigns and transferees of any nature, whatsoever, and consents to and agrees with the covenants to perform and fully abide by the provisions, terms, and conditions, and commitments set forth in this Development Order. Affiant states that he/she accepts the findings, as outlined in this Development Order, and further states that he/she has neither paid nor promised any person, firm or corporation any discount, rebate, commission, or refund for the purpose of securing the said Development order for SOMERSET AT PALM COAST PARK TRACT 15:

KB HOME JACKSONVILLE, LLC
10475 FORTUNE PARKWAY SUITE 100
JACKSONVILLE, FL 32256

Authorized Signer

ACKNOWLEDGEMENT

STATE OF Florida
COUNTY OF Duval

The foregoing instrument was acknowledged before me, by means of ✓ physical presence or _ online notarization, this 12th day of January, 2023, by Maston Crapps of KB HOME JACKSONVILLE, LLC who is personally known to me or has produced _____ (type of identification) as identification and did/did not take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this 12th day of January, 2023.

Lisa Bianchi NOTARY PUBLIC (SEAL)
NOTARY PUBLIC SIGNATURE

LISA BIANCHI
Notary Public
State of Florida
Comm# HH322633
Expires 12/14/2026

Plat Surety Performance Bond

KNOW ALL MEN BY THESE PRESENTS:

Bond No: 024275413

That we KB Home Jacksonville LLC, whose address is 10475 Fortune Parkway, Suite 100, Jacksonville, FL 32256, hereinafter referred to as "PRINCIPAL" and Liberty Mutual Insurance Company, whose address is 175 Berkeley Street, Boston, MA 02116, hereinafter referred to as 'SURETY" are held and firmly bound unto the City of Palm Coast, a municipality of the State of Florida, whose address is 160 Cypress Point Parkway, Suite B-106, Palm Coast, Florida 32164, hereinafter referred to as the CITY in the sum of $304,468.80 for the payment of which we bind ourselves, heirs, executors, successors and assigns, jointly and severally, firmly by these presents:

WHEREAS, the above bound on PRINCIPAL has as a condition precedent to the approval by the City of Palm Coast of a plat of a certain subdivision known as Somerset Phase 1 has covenanted and agreed with the CITY to construct roads, streets and alleys, drainage as well as sidewalks, _____, and other improvements Second Lift of Asphalt, Final Pavement Markings/Striping based upon development plans and plans and specification pertaining to said subdivision, said development plans and plans and specifications pertaining to said subdivision being dated _____ day of _____, 20___, and being on file with the CITY and

WHEREAS, it is a condition precedent to the recording of said subdivision that this bond be executed:

NOW THEREFORE, the conditions of these obligations are such that if the bound on PRINCIPAL shall construct the aforesaid improvements in accordance with any date prescribed in the approved development plans and plans and specification dated the _____day of _____, 20___, or within two (2) years of the date of approval, whichever occurs first, and shall in every respect fulfill its, his, their obligations under the development plans and plans and specifications, and shall indemnify and save harmless the CITY against contingent costs, which the CITY may sustain on account of the failure of the PRINCIPAL to perform in accordance with the developments plans and plans and specifications within the time therein specified, then this obligation to be void; otherwise to be and remain in full force and virtue.

The SURETY unconditionally covenants and agrees that if the PRINCIPAL fails to perform all or any part of the construction work required by the developments plans or plans and specification above referred to, within the time specified, the SURETY upon forty-five (45) days written notice from the CITY, or its authorized agent or officer, of the default, will forthwith perform and complete the aforesaid construction work and pay the cost thereof, including, but not limited to engineering, legal and contingent costs. Should the SURETY fail or refuse to perform and complete the said

improvements, the CITY, in view of the public, interest, health, safety, and welfare factors involved and the inducement in approving and filing the said plat, shall have the right to resort to any and all legal remedies against the PRINCIPAL and the SURETY, or either, both at law and in equity, including specifically specific performance, to which the PRINCIPAL and SURETY unconditionally agree.

The PRINCIPAL and the SURETY further jointly and severally agree that the CITY, at its option, shall have the right to construct or, pursuant to public advertisement and receipt of bids, cause to be constructed the aforesaid improvements in case the PRINCIPAL should fail or refuse to do so. In the event the CITY should exercise and give effect to such right, the PRINCIPAL and the SURETY shall be jointly and severally liable hereunder to reimburse the CITY the total cost thereof including, but not limited to, engineering, legal and contingent costs, together with any damages, either direct or consequential, which may be sustained on account of the failure of the PRINCIPAL to carry out and execute all the provisions of said agreement.

IN WITNESS WHEREOF, the PRINCIPAL and the SURETY have executed these presents this the 10th day of April, 20 24.

Replaces original bond issued on 4/1/2024.

Address

10475 Fortune Parkway, Suite 100
Jacksonville, FL 32256

KB Home Jacksonville LLC

By: _____

Printed Name: Todd Holder

Its President

ATTEST:

_____

Its Dir Land Acq & Analysis

SEAL

Address:

175 Berkeley Street
Boston, MA 02116

Liberty Mutual Insurance Company

By: _____

It's Attorney-in-Fact, Brenda Wong

ATTEST:

By: _____

M. Gonzales

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT CIVIL CODE §1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

On 4/10/2024 before me, S. Evans, Notary Public, personally appeared Brenda Wong who proved to me on the basis of satisfactory evidence to be the person(~~s~~) whose name(~~s~~) is/~~are~~ subscribed to the within instrument and acknowledged to me that ~~he~~/she/~~they~~ executed the same in ~~his~~/her/~~their~~ authorized capacity~~(ies)~~, and that by ~~his~~/her/~~their~~ signature(~~s~~) on the instrument the person(~~s~~), or the entity upon behalf of which the person(~~s~~) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

(seal) Signature S. Evans

S. Evans, Notary Public

S. EVANS
Notary Public - California
San Francisco County
Commission # 2457925
My Comm. Expires Aug 30, 2027

Liberty Mutual. SURETY

This Power of Attorney limits the acts of those named herein, and they have no authority to bind the Company except in the manner and to the extent herein stated.

Liberty Mutual Insurance Company
The Ohio Casualty Insurance Company
West American Insurance Company

Certificate No: 8204866

POWER OF ATTORNEY

KNOWN ALL PERSONS BY THESE PRESENTS: That The Ohio Casualty Insurance Company is a corporation duly organized under the laws of the State of New Hampshire, that Liberty Mutual Insurance Company is a corporation duly organized under the laws of the State of Massachusetts, and West American Insurance Company is a corporation duly organized under the laws of the State of Indiana (herein collectively called the "Companies"), pursuant to and by authority herein set forth, does hereby name, constitute and appoint, Brenda Wong

all of the city of Los Angeles, state of California each individually if there be more than one named, its true and lawful attorney-in-fact to make, execute, seal, acknowledge and deliver, for and on its behalf as surety and as its act and deed, any and all undertakings, bonds, recognizances and other surety obligations, in pursuance of these presents and shall be as binding upon the Companies as if they have been duly signed by the president and attested by the secretary of the Companies in their own proper persons.

IN WITNESS WHEREOF, this Power of Attorney has been subscribed by an authorized officer or official of the Companies and the corporate seals of the Companies have been affixed thereto this 15th day of February, 2021.

Liberty Mutual Insurance Company
The Ohio Casualty Insurance Company
West American Insurance Company

LIBERTY MUTUAL INSURANCE COMPANY INCORPORATED 1912 MASSACHUSETTS — THE OHIO CASUALTY INSURANCE COMPANY INCORPORATED 1919 NEW HAMPSHIRE — WEST AMERICAN INSURANCE COMPANY INCORPORATED 1991 INDIANA

By: David M. Carey, Assistant Secretary

STATE OF PENNSYLVANIA ss
COUNTY OF MONTGOMERY

On this 15th day of February, 2021, before me personally appeared David M. Carey, who acknowledged himself to be the Assistant Secretary of Liberty Mutual Insurance Company, The Ohio Casualty Company, and West American Insurance Company, and that he, as such, being authorized so to do, execute the foregoing instrument for the purposes therein contained by signing on behalf of the corporations by himself as a duly authorized officer.

IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed my notarial seal at King of Prussia, Pennsylvania, on the day and year first above written.

TERESA PASTELLA COMMONWEALTH OF PENNSYLVANIA NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
Teresa Pastella, Notary Public
Montgomery County
My commission expires March 28, 2025
Commission number 1126044
Member, Pennsylvania Association of Notaries

By: Teresa Pastella, Notary Public

This Power of Attorney is made and executed pursuant to and by authority of the following By-laws and Authorizations of The Ohio Casualty Insurance Company, Liberty Mutual Insurance Company, and West American Insurance Company which resolutions are now in full force and effect reading as follows:

ARTICLE IV – OFFICERS: Section 12. Power of Attorney.
Any officer or other official of the Corporation authorized for that purpose in writing by the Chairman or the President, and subject to such limitation as the Chairman or the President may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Corporation to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact, subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Corporation by their signature and execution of any such instruments and to attach thereto the seal of the Corporation. When so executed, such instruments shall be as binding as if signed by the President and attested to by the Secretary. Any power or authority granted to any representative or attorney-in-fact under the provisions of this article may be revoked at any time by the Board, the Chairman, the President or by the officer or officers granting such power or authority.

ARTICLE XIII - Execution of Contracts: Section 5. Surety Bonds and Undertakings.
Any officer of the Company authorized for that purpose in writing by the chairman or the president, and subject to such limitations as the chairman or the president may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact, subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Company by their signature and execution of any such instruments and to attach thereto the seal of the Company. When so executed such instruments shall be as binding as if signed by the president and attested by the secretary.

Certificate of Designation – The President of the Company, acting pursuant to the Bylaws of the Company, authorizes David M. Carey, Assistant Secretary to appoint such attorneys-infact as may be necessary to act on behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations.

Authorization – By unanimous consent of the Company's Board of Directors, the Company consents that facsimile or mechanically reproduced signature of any assistant secretary of the Company, wherever appearing upon a certified copy of any power of attorney issued by the Company in connection with surety bonds, shall be valid and binding upon the Company with the same force and effect as though manually affixed.

I, Renee C. Llewellyn, the undersigned, Assistant Secretary, of Liberty Mutual Insurance Company, The Ohio Casualty Insurance Company, and West American Insurance Company do hereby certify that this power of attorney executed by said Companies is in full force and effect and has not been revoked.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the seals of said Companies this 10th day of April, 2024.

LIBERTY MUTUAL INSURANCE COMPANY INCORPORATED 1912 MASSACHUSETTS — THE OHIO CASUALTY INSURANCE COMPANY INCORPORATED 1919 NEW HAMPSHIRE — WEST AMERICAN INSURANCE COMPANY INCORPORATED 1991 INDIANA

By: Renee C. Llewellyn, Assistant Secretary

Not valid for mortgage, note, loan, letter of credit, currency rate, interest rate or residual value guarantees.

For bond and/or Power of Attorney (POA) verification inquiries, please call 610-832-8240 or email HOSUR@libertymutual.com.

Contractor: Pipeline Constructors, Inc.
Master Subcontract Date: 5/15/2020
Term of Master Subcontract: 5/15/2020 to N/A

WORK AGREEMENT

Date Issued:	8/15/22	Project Name:	Somerset at Palm Coast–Phase 1
Contract Number:	88869115	Project County:	Flagler
Date of Master Subcontract:	5/15/2020	Contractor:	Pipeline Constructors, Inc.
Master Subcontract Number:	Pipeline Constructors, Inc-MSA-5-15-2020	Trade:	General Contractor

This Work Agreement is entered into as of the last date set forth after the parties' signatures below by and between the KB HOME division identified as "Owner" below ("**Owner**") and the Contractor identified above.

1. This Work Agreement incorporates by reference that certain Master Contract described above between Owner and Contractor and all terms and provisions set forth therein. In the event of any irreconcilable inconsistency between the terms and provisions of this Work Agreement and the terms and provisions of the Master Contract, the terms and provisions of the Master Contract shall prevail, unless Owner and Contractor specifically indicate their intent herein to supersede any term or provision in the Master Contract by identifying specifically such term or provision being superseded and indicating their intent to supersede such term or provision by separately initialing the paragraph herein in which it appears. This Work Agreement shall apply with respect to all work performed by Contractor on the Project described above (the **"Project"**) and is intended to constitute a stand-alone contract, except to the extent otherwise provided in the Master Contract.

2. Unless earlier terminated in accordance with the terms and provisions of the Master Subcontract, this Work Agreement shall remain in full force and effect until completion of the Work on the Project. All contract pricing will be held through completion of the Work on the Project. Any revisions to the pricing after this agreement will require a 60-day notice, in writing, and Owner shall be entitled to seek a re-bid from other contractors if pricing is changed.

3. The Scope of Work under this Work Agreement shall be as provided in the Master Subcontract, the scope of which is more fully defined in **Exhibit "A" – Scope of the Work** hereto. A list of specific contract documents is included in Exhibit "A-2".

   (a) Contractor will comply with all conditions of the project Storm Water Pollution Prevention Plan (SWPPP), as more fully set forth in Exhibit E to the Master Subcontract.

   (b) Contractor will comply with all conditions of the project dust control permit and future renewal permits as more fully set forth in Exhibit E to the Master Subcontract.

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4. The Pricing under this Work Agreement shall be as provided in: **Exhibit "B" – Pricing** hereto. Pricing under this Work Agreement shall be guaranteed by Subcontractor for a fixed price, lump sum amount to complete all activities in the scope of work and shall not increase for any reason.

5. Payment Schedule: Applications for payment from Contractor shall be submitted to Owner according to the 2022 Semi-monthly check run schedule provided in Exhibit "C". Payment on said application will be sent per the 2022 Semi-monthly check run schedule. For processing of payment application to proceed per the above, the Contractor shall submit with the payment application the following items:

   (a) Payment application signed by the Engineer of Record indicating certification of completed work.

   - All payment applications are due by 5pm to KB HOME on the cutoff date.
   - Contractor shall provide at least 72 hours for the Engineer of Record to review the payment application.
   - Payment application shall be submitted via KB Home HB1 portal and emailed to jax-land@kbhome.com.

   (b) A progress map shall be submitted with each payment application. The map (of the job site) will be on 11x17 showing all progress highlighted. The following information should be shown indicating progress.

   - Water/Sewer
   - Grading and Pond Work
   - Curb and Gutter
   - Road Construction and Paving
   - Additional information on progress can be requested at any time.

   (c) Updated overall project construction schedule.

   (d) Updated two-week look ahead schedule.

   (e) Updated Schedule of Values indicating percent of work complete for each line item. Contractor shall submit a Schedule of Values to Owner for their approval at time of Work Agreement execution.

   (f) Waiver and Release of Lien Upon Progress Payment from, as applicable, the following:

   - Contractor
   - Subcontractors
   - Suppliers

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6. Retention: Retention shall be ten percent (10%) on all progress payment applications. Retention shall not be released until written final acceptance is received from all permitting agencies and Owner punch list items are complete.

7. Project Schedule: A detailed Project Schedule is provided in Exhibit "A-1". This schedule may be modified from time to time as mutually agreed upon by Owner and Contractor. Project Schedule milestones are provided below. "Substantial Completion" shall be defined as having all paving complete and all as-builts and testing reports submitted to the appropriate governing authorities. "Completion" shall be defined as completion of final punch-lists from all governing authorities, all acceptance paperwork (including all as-builts for water, sewer, paving, and drainage) submitted to all applicable governing authorities with Owner copied, and Final Acceptance signoff by all applicable governing authorities.

   (a) Date of Notice to Proceed (NTP) of Project: August 15, 2022

   (b) Stabilized Access Date (Short Phase): April 30, 2023

   (c) Substantial Completion Date (Short Phase): May 31, 2023

   (d) Substantial Completion Date (Balance of Phase): December 31, 2023

   (e) Final Completion Date (Entire Phase): January 30, 2024

   (f) Contract Time (in calendar days): 534 calendar days

   The Short Phase, as referenced above, is further described in **Exhibit "D" – Short Phase & Balance of Phase**. This expedited Short Phase shall be for the purpose of Owner building and opening its community model homes, Grand Opening the community, and commencing limited construction of its production homes on lots in the Short Phase. For purposes of Stabilized Access of the Short Phase, "Stabilized Access" shall be defined as having all curb complete and rock placed, so as to provide good stabilized access to the Short Phase lots. For purposes of Substantial Completion of the Short Phase, "Substantial Completion" shall be defined as having all curb and paving complete, so as to allow Owner to conduct its Grand Opening of the community in a clean and presentable manor.

8. Liquidated Damages: It is understood and agreed that if, for any reason, work is not completed within the time period set forth above, there shall be deducted from the contract price an amount per day for each day that work is not completed in accordance with this proposal; provided that in the event of delay is caused by or results from delays due to unusually severe weather, acts of God, or any similar causes, then the time for completion shall be extended for a period equal to the time lost by reason of any or all of the causes aforesaid. It shall be the Contractor's sole responsibility to document any of the aforesaid delays and to notify the Owner within 48 hours of when they occur. It is understood and agreed that the time of completion may be otherwise extended only by written or mutual agreement between the Contractor and the Owner. Amounts deducted from contract price are as follows:

   (a) Failure to meet Substantial Completion Date of Balance of Phase shall incur liquidated damages in the amount of $500.00 per calendar day.

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(b) Failure to meet the Final Completion Date for Entire Phase shall incur liquidated damage in the amount of $500 per calendar day.

(c) For the avoidance of doubt, no Liquidated Damages shall apply to the development milestones shown above for the Short Phase.

9. Owner and Contractor recognize that time is of the essence for this Work Agreement and that 534 days has been agreed upon for Contract Time. This section is not intended to limit or replace any other penalty for Contractor's breach as provided for in this Work Agreement or the Master Contract. This Subcontract is executed under the hands and seals of the parties, effective as of the last date set forth below the parties' signatures below.

As to Contractor:	As to Owner:
Signature: Marney Best, PM	Signature:
Printed Name: Marney Best	Printed Name: Maston Crapps
Title: Senior Project Manager	Title: Vice President, Land
Date: 4.3.2023	Date: 08/15/2022

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Contractor: Pipeline Constructors, Inc.
Master Subcontract Date: 5/15/2020
Term of Master Subcontract: 5/15/2020 to N/A

Exhibit A to Work Agreement

Scope of Work

Contractor understands that the Somerset at Palm Coast project will be constructed in 4 phases of construction (Offsite, Phase 1, Phase 2, and Phase 3). This Agreement is for Phase 1 only, and shall include all connection points to Offsites, Phase 2 and Phase 3 infrastructure as necessary.

GENERAL CONDITIONS

(A) Contractor shall be responsible for, but not limited to:
- Obtaining necessary permits to work within the City of Palm Coast.
- Construction survey required for vertical and horizontal control. **
- Warranting all work for one year for the owner any additional warranty required by City of Palm Coast and City of Palm Coast Utility Department.
- Preparing complete as-built drawings as required by City of Palm Coast, COPC Utility Department, and St. Johns River Water Management District.

** Owner shall furnish plat, reference benchmarks, and project boundary survey. All other necessary survey work must be provided by the contractor.

(B) Draws are to be made only on installed material. **No draws shall be on stored material unless prior arrangements are made with the Owner**. A 10% retainage will be withheld on all draws until written final acceptance by City of Palm Coast, COPC Utility Department, FDOT, and the St. Johns River Water Management District.

(C) All existing trees on the site not authorized by Owner for removal shall be protected from damage due to construction activity. Contractor shall take the necessary measures, such as barricades and temporary fencing, to ensure that existing trees and root systems are not damaged.

(D) All disturbed areas shall be seeded and mulched or sodded to establish a stand of grass or sufficient coverage to prevent soil erosion. The grassing and erosion protection shall be included in the Contractor's one-year warranty.

(E) The Contractor shall at his expense, use his best efforts to keep the site drained though the use of pumps, temporary ditches and/or other means necessary so that construction is not delayed.

(F) Prior to commencement, Contractor shall be furnished with copies of all permits and any fines levied due to Contractor's failure to use due care shall be paid by the Contractor. If the contractor fails to pay, the owner will pay and deduct the amount of any such fine from the final payment.

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(G) Contractor shall comply with all Federal, State, & local laws and will construct all work in accordance with City of Palm Coast, COPC Utility Department and FDOT Standards and Specifications and the St. Johns River Water Management District permit.

(H) The Contractor is required to perform all testing and retesting, if necessary and prepare as-builts as required by City of Palm Coast, COPC Utility Department, FDOT, SJRWMD and all other applicable utility companies prior to project acceptance.

(I) Any change orders not supported by unit pricing from the schedule of values must be backed up with labor and material detail and/or sub-contractor quotes. Change orders will not be approved without appropriate backup. By entering into the Work Agreement, Contractor acknowledges this and agrees to provide the required backup should the need arise.

(J) The Contractor shall be responsible for coordinating work with Owner's electrician, COPC Utility Department, AT&T, Comcast, and other utility companies.

(K) The Contractor shall be responsible for all work necessary to complete all final approvals and acceptances.

(L) The Contractor shall complete his work in a professional and workman like manner typical to the industry. There shall be no sections or parts missing. Further, the work shall be complete and able to function for its intended use. The work must be continuous.

(M) Storm drainage runoff must be maintained to, through, and from the property during construction. Contractor will be responsible for any damage that may result from failure to meet this requirement.

(N) All construction shall be completed in accordance with recommendations outlined in the Geotech report(s). Owner assumes no responsibility of accuracy of soils reports.

(O) The Contractor shall obtain and comply with the DEP NPDES General permit and maintain weekly records of site conditions and construction activities. The Contractor shall adhere to all Federal rules and regulations regarding the National Pollutant Discharge Elimination System (NPDES) for construction and ground water discharge. The Storm Water Pollution Prevention Plans establish the minimum requirements allowed. The contractor shall implement additional measures, as required, to ensure compliance with the NPDES requirements. Contractor shall file the required DEP NOI prior to commencement of construction activities. The contractor will also be required to terminate NOI, per DEP procedures, upon successful completion of construction activities.

Contractor shall also obtain and have analyzed dewatering discharge samples before and after the commencement of construction in accordance with the FDEP Generic Permit for the Discharge of Produced Groundwater. Contractor shall monitor and keep construction area in compliance with all NPDES, DEP, SJRWMD, ACOE, COPC and FDOT latest rules and regulations. Any fines levied shall be paid by the Contractor.

(P) Receipt of all final approvals and operating permits from all applicable regulatory authorities is a requirement for final payment.

(Q) Landscape, fencing, dry utility conduit shall be by others. Contractor is responsible for coordinating with Owner's subcontractors as directed by the Owner throughout the course of construction.

(R) Contractor is responsible for installing all common area sidewalks. All sidewalk ADA curb cuts and detectable warnings including a 5' length of sidewalk is included in this bid.

(S) All thermoplastic striping is included in this agreement. Signage within City of Palm Coast right of ways shall be installed by the City of Palm Coast. Owner shall pay any required sign fees and Contractor shall be responsible for coordinating with COPC for signage installation.

(T) CADD files are for the Contractor's convenience only and contractor further agrees to hold harmless, indemnify and defend KB Home Jacksonville LLC and Matthews Design Group for any harm of any kind relating to the use of the data, without limitation.

(U) Contractor shall be responsible for locating, removing and relocating utilities, both aerial and underground, as required for the performance of the Work. This shall also include the coordination of safety and protection associated with all aerial and underground facilities related to the Work.

(V) The Contractor's attention is called to the fact that any estimate of quantities of work to be done and materials to be furnished as shown in the contract documents, or elsewhere, is for illustrative purposes only. The Owner does not assume any responsibility that the final quantities shall remain in strict accordance with the estimated quantities or of the character, location of the work, or other conditions pertaining thereto. The Contactor shall be solely responsible for computing quantities for the preparation of the Project Manual and the execution of the work.

(W) All work provided in the Work Agreement, including but not limited to Contract Documents and Proposal Documents, as may be amended, shall be warranted from commencement of work until 12 months after acceptance by all applicable regulatory authorities.

MLB -4/3/2023

Contractor: Pipeline Constructors, Inc.
Master Subcontract Date: 5/15/2020
Term of Master Subcontract: 5/15/2020 to N/A

CLEARING/DEMOLITION

Contractor shall install and maintain throughout the course of construction, tree barricades around all protected trees as required by the applicable governing authority. Should protected tress be removed and/or damaged during construction, Contractor shall be responsible for any costs incurred as a result of this damage including but not limited to tree mitigation fees. Contractor shall also install and maintain throughout the course of construction silt fence and any other erosion control measures necessary to prevent the discharge of turbid water off-site. This shall include all measures that are required to comply with all Federal, State and Local water quality standards. The installation of all sediment and erosion control measures as well as tree barricades are to be completed prior to commencing construction and shall stay in place until construction is complete and site is fully stabilized. When the site is considered stabilized, Contractor shall be responsible for the removal and disposal of all silt fence, tree barricade or other BMPs at the direction of the Owner.

The Contractor shall complete the clearing and grubbing of all roadways, lots, rights of way, tracts, easements, and lakes, as shown on the plans. The Contractor must remove and replace all unsuitable material as required and approved in writing by the Engineer; unsuitable soil material shall be properly disposed of offsite or properly buried in nonstructural areas with a clean 2' soil cap. No roots, stumps, trees, etc. shall be buried onsite.

Demolition of existing structures, disposal of onsite trash/debris piles, abandonment of known wells, removal of existing fencing and removal of existing electric facilities are all a part of the contractor's scope, including any permitting requirements and cost. The price for the item number shall be the lump sum price for all work described including all labor, materials, tools, equipment, and incidentals for doing work as specified above and shown on the plans and specifications. Contractor is responsible for performing a site visit to verify the extent of necessary demolition work. Contractor is responsible for the demolition of all visible onsite improvements, wells, septic tanks, etc. whether they are depicted on the plans or not.

EARTHWORK

Contractor shall grade to elevations and will provide finish grade for all lots within .10 feet of elevation shown on plans. Building pads will be constructed at a size equal the lot width minus 5' on each lot line and 20' from the front ROW line to a point 75' past the front setback. Elevations for building pads should be held 8" below FFE. As-builts shall be required for lot grading. Contractor shall construct embankments; de-water; implement temporary water control provisions to control turbidity downstream during construction; water and compact suitable fill material where unsuitable material has been removed; and spread, compact and grade to lines, slopes, and grades shown on the plans. In an effort to achieve a balanced site, Contractor may utilize pond over excavation, use of nonstructural fill in acceptable areas as determined by the geotechnical engineer, mine and replace, etc. Should import or export of material be required to balance the site, it shall be at the sole cost of the Contractor. **With regards to excess fill material, it is understood that Phase 1 will generate approximately 132,800 cubic yards of excess fill. The price to excavate and load this material is included within the scope of this agreement, but does not include the cost to transport and/or stockpile this material. Any additional cost to transport or stockpile this excess fill shall be treated as a change order.**

Any unsuitable material encountered during underground utility installation shall be removed and replaced with acceptable fill material. Contractor shall consult the geotechnical engineer to determine the limits of unsuitable material replacement.

All lot fill shall be compacted by Contractor to a minimum of 95% of the soils Modified Proctor maximum dry density and in-place density tests are required for each 12 inches of fill, centered on each lot. A final report of all lot density testing shall be provided to owner and engineer upon completion in a professional manner (bound and organizes). All testing shall be performed by a licensed geotechnical engineer. Offsite import fill or

MLB -4/3/2023

export of unsuitable material will be the responsibility of the Contractor. All work shall be as specified in the specifications, and as directed by the Owner and Engineer, including constructing swales and ditches and overall grading as shown on plans. **The price for the item number shall be the lump sum price for all work described including all labor, materials, tools, equipment, and incidentals for doing work as specified above and shown on the plans and specifications.**

ROADWAYS

Contractor shall complete paving, including roadway undercut as needed per the typical roadway section, stabilization, base, prime coat, asphalt, signage and striping (thermoplastic), curb & gutter, in accordance with the plans and specifications and/or as directed by the Owner or Engineer. All common area sidewalks (not associated with a lot) and ADA ramps with a 5' length of sidewalk, and detectible warnings shall be installed. All roadway and directional signage shall be included in this scope. All work shall comply with the standards and specifications of the governing authority, including maintenance of traffic in accordance with FDOT standards and indexes. As-builts and testing required by the City of Palm Coast are included in this line item. The price for this item shall be a lump sum price for all labor, materials, tools, equipment, and incidentals for doing the work as specified above and shown on the plans and specifications.

Should pavement repair and patching be required during construction, Contractor shall sawcut and remove a minimum of 10' on either side of the repair and patch a full width of asphalt from curb to curb.

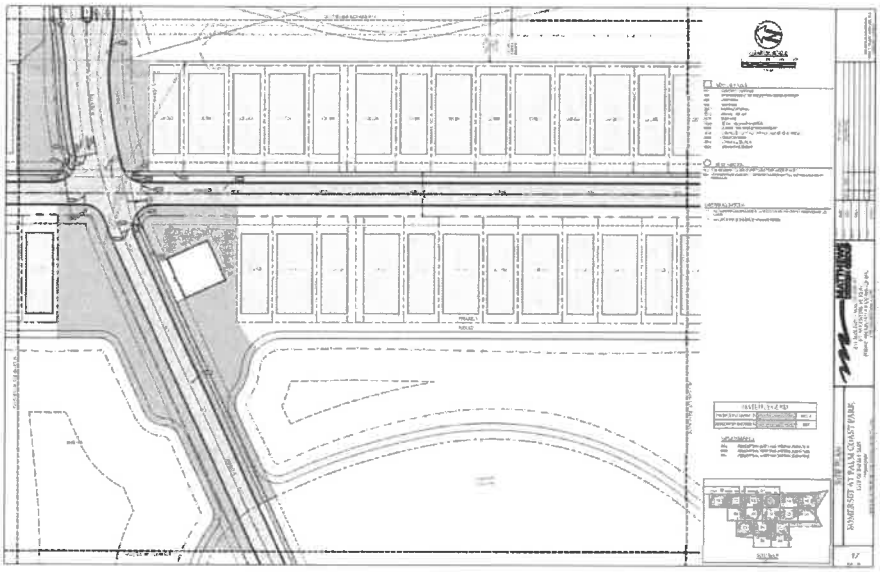
GRASSING

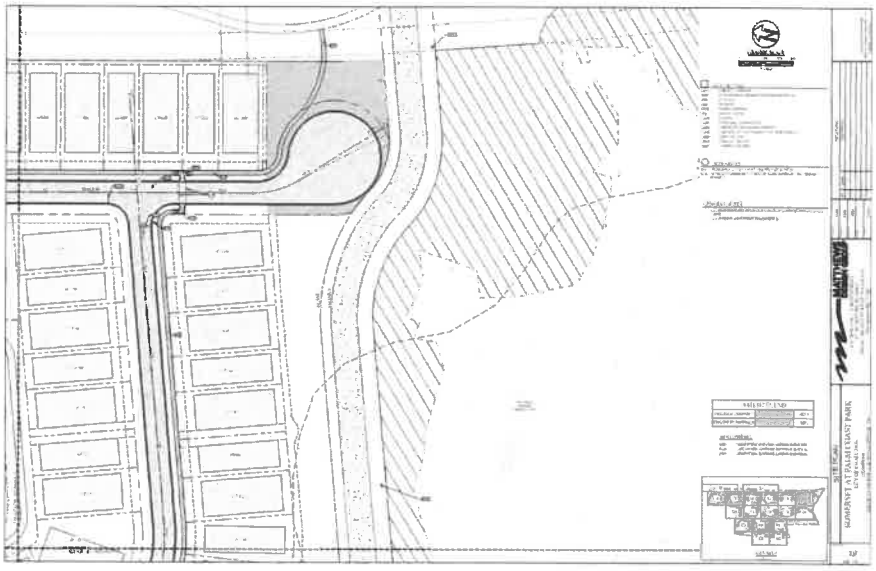
Contractor shall seed & mulch all disturbed areas, including lots, as shown on the plans and other locations as authorized during construction in accordance with DOT specifications, Section 570. All grassed areas shall be watered to maintain growth until final acceptance and shall be included in the one-year warranty. Contractor shall sod all areas shown on the plans (i.e., lake bank side slopes and 1 row of sod behind curb) in accordance with DOT specifications, Section 575. All sod areas shall be watered to maintain growth until final acceptance. Contractor shall install Bahia sod on all unloaded roadways within the ROW.

All drainage swales, slopes 4:1 or steeper or boundary tie in slopes shall be sodded, whether shown on the plans or not.

In addition to the above, Contractor shall include the sodding of the common area and rights-of-way shown highlighted in green below with Bahia sod.

Contractor: Pipeline Constructors, Inc.
Master Subcontract Date: 5/15/2020
Term of Master Subcontract: 5/15/2020 to N/A





Work Agreement

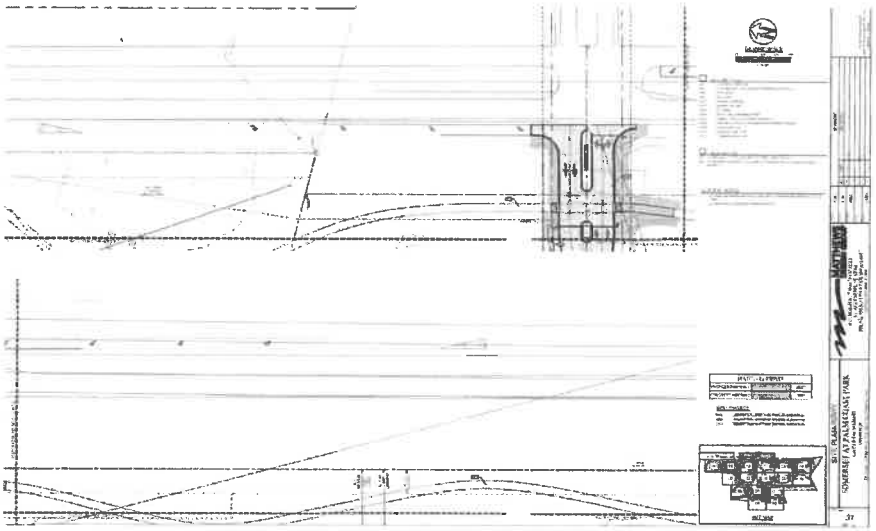
MLB -4/3/2023

Contractor: Pipeline Constructors, Inc.
Master Subcontract Date: 5/15/2020
Term of Master Subcontract: 5/15/2020 to N/A

Work Agreement

MLB -4/3/2023

Contractor: Pipeline Constructors, Inc.
Master Subcontract Date: 5/15/2020
Term of Master Subcontract: 5/15/2020 to N/A



STORM DRAINAGE SYSTEM

Contractor shall complete items related to the storm drainage system, including all inlets, pipe, roadway underdrain, including but not limited to 20' stub out in each direction from curb inlets as required by the City of Palm Coast, storm manholes, mitered end sections, headwalls, control structures, including temporary ditches that the Contractor might require to facilitate the construction of the underground drainage system. Contractor shall be responsible for backfilling in accordance with the specifications, and removal and replacement of unsuitable material as necessary to facilitate construction of the system. The price for this item number shall be the lump sum price for all labor, materials, tools, equipment, TV testing of all pipes, and incidentals for doing all the work specified above and as shown on the plans and specifications. As-builts and testing required by the City of Palm Coast & SJRWMD are included in this item.

SANITARY SEWER SYSTEM

Contractor shall complete all items related to the sanitary sewer system including all pipes, manholes, and services with location markers, connection, plugs, flushing, televising the mains after completion, repairing roads damaged by construction and required adjustment of existing utilities to facilitate sewer construction. As-builts and testing required by COPC (City of Palm Coast) and DEP are included in this item and includes the required COPC warranty for all work.

WATER DISTRIBUTION SYSTEM

Contractor shall complete items related to the water distribution system, including all pipes, fire hydrants, locate wire, services, valves, fittings, connections to existing water mains, flushing valves, pressure testing and bacteriologicals. All work must be conducted in accordance with the City of Palm Coast & DEP latest standards & specifications. As-builts required by the City of Palm Coast, and DEP and testing is included in this item, as well as the required City of Palm Coast warranty for all work.

Contractor is responsible for all utility conflicts and necessary crossing details whether depicted on the plans or not. This shall include all labor, material and overhead necessary to construct these crossings.

MLB -4/3/2023

Contractor: Pipeline Constructors, Inc.
Master Subcontract Date: 5/15/2020
Term of Master Subcontract: 5/15/2020 to N/A

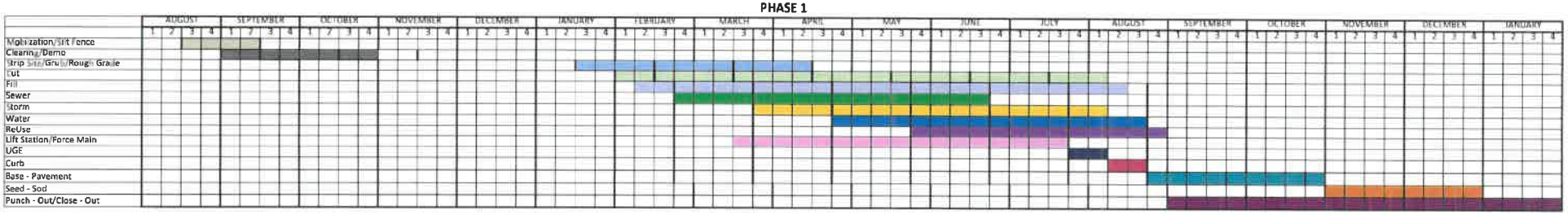
Exhibit A-1 to Work Agreement

Project Schedule

See following page:

MLB -4/3/2023

Somerset @ Palm Coast
PROPOSED SCHEDULE
PIPELINE CONSTRUCTORS, INC.
PHASE 1



MLB -4/3/2023

Contractor: Pipeline Constructors, Inc.
Master Subcontract Date: 5/15/2020
Term of Master Subcontract: 5/15/2020 to N/A

Exhibit A-2 to Work Agreement

Contract Documents

CONTRACT # 88869115

Project # Somerset at Palm Coast Phase 1

Contractor is required to perform the Scope of Work under the Work Agreement in strict compliance with the Contract Documents and Applicable Requirements, including without limitation all plans, specifications, reports, and requirements for the Project with the latest revisions through the term of this Work Agreement and specifically including all of the documents referenced below.

Document	Date	Delta	Vendor
Somerset Prelim Construction Plans	5/19/22	0	Matthews Design Group
Geotech Report (Project No. 21-6375)	8/12/21	0	Ardaman & Associates, Inc.

MLB -4/3/2023

Contractor: Pipeline Constructors, Inc.
Master Subcontract Date: 5/15/2020
Term of Master Subcontract: 5/15/2020 to N/A

Exhibit B to Work Agreement

Pricing

Jacksonville
10475 Fortune Pkwy Suite 100
Jacksonville, FL 32256
USA

Commercial work order

10007979

Pipeline Constructors, Inc

2117 N Temple Ave
Starke, FL 32091
USA

Contact
Telephone
Email

Page 1 of 1
Work order 088869115-1
Work order date 8/15/2022
Revision date 8/15/2022
Our account number
Contract details Somerset at PCP Phase 1
Agreement description Pipeline Constructors Inc.- MSA - 5-15-20 - revise
Trade type

Somerset at PCP LP

10475 Fortune Pkwy Ste 100
Palm Coast, FL 32137
USA

Project manager
Telephone
Email

Cost category	Description	Quantity	Unit	Unit price	Sales tax	Amount	Retention %
Grading - Land	Clearing/demolition	944,866.0000	EA	1.00	0.00	944,866.00	10.00
Grading - Land	Earthwork	1,317,215.0000	EA	1.00	0.00	1,317,215.00	10.00
Grading - Land	Sodding	225,863.0000	EA	1.00	0.00	225,863.00	10.00
Paving	Roadway	1,100,913.0000	EA	1.00	0.00	1,100,913.00	10.00
Sewer	Sewer System	747,062.8200	EA	1.00	0.00	747,062.82	10.00
Sewer	Force Main	37,078.6500	EA	1.00	0.00	37,078.65	10.00
Sewer	Lift Station	377,262.7000	EA	1.00	0.00	377,262.70	10.00
Sewer	Water Main	510,241.4300	EA	1.00	0.00	510,241.43	10.00
Sewer	Re-Use Main	299,835.0200	EA	1.00	0.00	299,835.02	10.00
Storm Drain	Storm Drain System	805,951.2700	EA	1.00	0.00	805,951.27	10.00
				Grand total	**0.00**	**6,366,288.89**	

As to Contractor:

Signature: Marney Best, PM

Printed Name: Marney Best

Title: Senior Project Manager

Date: 4.3.2023

As to Owner:

Signature:

Printed Name: Maston Crapps

Title: Vice President, Land

Date: 8/15/22

MLB -4/3/2023

Contractor: Pipeline Constructors, Inc.
Master Subcontract Date: 5/15/2020
Term of Master Subcontract: 5/15/2020 to N/A

Exhibit B-1 to Work Agreement

Alternate Pricing

Pipeline Constructors, Inc.
Somerset at Palm Coast Phase 1 - July 6, 2022
Recap of Quantities/Values

Description	Unit	Unit $
Clearing/Demolition		
Silt Fence/Survey	LF	3.15
Construction Entrance	EA	3,500.00
Clearing	AC	6,800.00
Stripping	AC	4,400.00
Respread	CY	3.75
Total Clearing/Demolition		
Earthwork		
Cut	CY	4.75
Fill	CY	2.75
Export - Loading ONLY	CY	1.50
Finish Grade	SY	4,400.00
Total Earthwork		
Roadway		
Mixing	SY	6.50
Limerock Base	TN	46.00
Base Finishing	SY	6.50
Asphalt Paving	SY	13.75
Prime	SY	0.83
Pavement Marking/Signage	LS	11,845.90
Sidewalk	SY	43.70
ADA Mats	EA	910.00
Curbs Miami	LF	17.03
Curbs City Standard	LF	20.60
Gravel Haul Road	SY	3.00
Gravel Haul Road Materials	TN	47.00
Total Roadway		

MLB -4/3/2023

Contractor: Pipeline Constructors, Inc.
Master Subcontract Date: 5/15/2020
Term of Master Subcontract: 5/15/2020 to N/A

Pipeline Constructors, Inc.
Somerset at Palm Coast Phase 1 - July 6, 2022
Recap of Quantities/Values

Sodding		
Sod Pond #1	SY	4.35
Sod Pond #2	SY	4.35
Haul Road Channel	SY	4.35
Sod B.O.C.	SY	4.35
Common Areas	SY	4.35
Seeding ROW & Lots	AC	3,828.00
Total Seeding/Mulching/ Sod		
Storm Drain System		
Curb Inlet (0-4)	EA	3,648.35
Curb Inlet (4-6)	EA	4,176.15
Curb Inlet (6-8)	EA	4,833.85
Curb Inlet (8-10)	EA	6,040.10
E Inlet (0-4)	EA	3,554.00
E Inlet (4-6)	EA	4,728.05
E Inlet (8-10)	EA	6,743.80
Control Structure "E" (4-6)	EA	7,707.45
Control Structure "E" (6-8)	EA	8,526.15
15" MES	EA	1,219.25
18" MES	EA	1,319.25
24" MES	EA	1,828.65
30" MES	EA	2,432.30
36" MES	EA	3,015.25
Grade Rings	EA	214.50
15" RCP (6-8)	LF	52.50
15" RCP (8-10)	LF	54.50
18" RCP (6-8)	LF	68.00
18" RCP (8-10)	LF	70.00
30" RCP (8-10)	LF	153.25
36" RCP (4-6)	LF	181.50
36" RCP (6-8)	LF	183.50
36" RCP (8-10)	LF	185.50

MLB -4/3/2023

Contractor: Pipeline Constructors, Inc.
Master Subcontract Date: 5/15/2020
Term of Master Subcontract: 5/15/2020 to N/A

Pipeline Constructors, Inc.
Somerset at Palm Coast Phase 1 - July 6, 2022
Recap of Quantities/Values

15" HP (0-4)	LF	40.25
15" HP (4-6)	LF	40.25
15" HP (6-8)	LF	42.25
15" HP (8-10)	LF	42.25
18" HP (0-4)	LF	46.87
18" HP (6-8)	LF	48.87
18" HP (8-10)	LF	50.87
24" HP (6-8)	LF	69.78
24" HP (8-10)	LF	71.78
30" HP (8-10)	LF	100.98
36" HP (4-6)	LF	102.97
36" HP (6-8)	LF	106.97
36" HP (8-10)	LF	110.97
Underdrain 10' Stubs	LF	34.00
Underdrain Clean Outs	EA	775.00
T.V.	LF	8.03
Dewater	LF	20.80
Layout	EA	275.00
Asbuilts	EA	300.00
Total Storm Drain System		

MLB -4/3/2023

Contractor: Pipeline Constructors, Inc.
Master Subcontract Date: 5/15/2020
Term of Master Subcontract: 5/15/2020 to N/A

Pipeline Constructors, Inc.
Somerset at Palm Coast Phase 1 - July 6, 2022
Recap of Quantities/Values

Sewer System		
Manhole "A" (4-6)	EA	5,222.40
Manhole "A" (6-8)	EA	6,540.10
Manhole "A" (8-10)	EA	7,945.20
Manhole "A" (10-12)	EA	8,956.90
Manhole "A" (12-14)	EA	10,348.10
Manhole "A" (14-16)	EA	11,398.90
Manhole Lined (14-16)	EA	16,881.90
Grade Rings	EA	134.00
8" PVC (4-6)	LF	37.92
8" PVC (6-8)	LF	41.92
8" PVC (8-10)	LF	41.92
8" PVC (10-12)	LF	45.92
8" PVC (12-14)	LF	47.92
8" PVC (14-16)	LF	49.92
Services	EA	1,239.75
Dewater	LF	20.00
T.V.	LF	8.03
Layout	EA	275.00
Asbuilts	EA	325.00
Total Sewer System		
Force Main		
8" DR 18	LF	40.52
Wire Testing	LF	2.07
Total Force Main		
Water Main		
10" DR 18	LF	56.79
8" DR 18	LF	40.52
6" DR 18	LF	26.65
12" x 10" Wet Tapp	LS	17,973.45
Single Service	EA	855.35
Long Single Service	EA	1,194.50
Lift Station Service	EA	1,995.65
10" Gate Valve	EA	3,946.20
8" Gate Valve	EA	2,798.60
6" Gate Valve	EA	2,010.95

MLB -4/3/2023

Contractor: Pipeline Constructors, Inc.
Master Subcontract Date: 5/15/2020
Term of Master Subcontract: 5/15/2020 to N/A

Pipeline Constructors, Inc.
Somerset at Palm Coast Phase 1 - July 6, 2022
Recap of Quantities/Values

Fire Hydrant	EA	3,479.60
Wire Testing	LF	2.07
Total Water Main		
Re-Use Main		
6" DR 18	LF	26.65
Single Service	EA	839.25
Long Single Service	EA	1,177.25
6" Gate Valve	EA	2,010.95
Wire Testing	LF	2.07
Total Re-Use Main		

MLB -4/3/2023

Contractor: Pipeline Constructors, Inc.
Master Subcontract Date: 5/15/2020
Term of Master Subcontract: 5/15/2020 to N/A

Exhibit C to Work Agreement

Semi-Monthly Check Run Schedule

2022 Check Run Schedule
(1st & 3rd week)

Pay #	Trade partner cutoff to submit paper invoices/billings to the division	Trade partner cutoff to request payment via KBTPO*	Approved invoices due at NAPA from division / Superintendent's cutoff to approve all requested invoices via KBTPO**	Supplier waivers generated in KBTPO (if applicable)	Supplier waivers available in KBTPO (if applicable)	Supplier waivers due from trade partners - approved by trade partner via KBTPO (if applicable)	Checks processed for all completed invoice packets	Checks are mailed to trade partners
1	**December 20, 2021**	**December 21, 2021**	**December 22, 2021**	December 25, 2021	December 27, 2021	**December 30, 2021**	January 3, 2022	January 7, 2022
2	January 3, 2022	January 5, 2022	January 7, 2022	January 8, 2022	January 10, 2022	January 14, 2022	January 17, 2022	January 21, 2022
3	January 17, 2022	January 19, 2022	January 21, 2022	January 22, 2022	January 24, 2022	January 28, 2022	January 31, 2022	February 4, 2022
4	January 31, 2022	February 2, 2022	February 4, 2022	February 5, 2022	February 7, 2022	February 11, 2022	February 14, 2022	February 18, 2022
5	**February 22, 2022**	February 23, 2022	February 25, 2022	February 26, 2022	February 28, 2022	March 4, 2022	March 7, 2022	March 11, 2022
6	March 7, 2022	March 9, 2022	March 11, 2022	March 12, 2022	March 14, 2022	March 18, 2022	March 21, 2022	March 25, 2022
7	March 21, 2022	March 23, 2022	March 25, 2022	March 26, 2022	March 28, 2022	April 1, 2022	April 4, 2022	April 8, 2022
8	April 4, 2022	April 6, 2022	April 8, 2022	April 9, 2022	April 11, 2022	April 15, 2022	April 18, 2022	April 22, 2022
9	April 18, 2022	April 20, 2022	April 22, 2022	April 23, 2022	April 25, 2022	April 29, 2022	May 2, 2022	May 6, 2022
10	May 2, 2022	May 4, 2022	May 6, 2022	May 7, 2022	May 9, 2022	May 13, 2022	May 16, 2022	May 20, 2022
11	May 23, 2022	May 25, 2022	May 27, 2022	May 28, 2022	**May 31, 2022**	June 3, 2022	June 6, 2022	June 10, 2022
12	June 6, 2022	June 8, 2022	June 10, 2022	June 11, 2022	June 13, 2022	June 17, 2022	June 20, 2022	June 24, 2022
13	June 20, 2022	June 22, 2022	June 24, 2022	June 25, 2022	June 27, 2022	July 1, 2022	**July 5, 2022**	July 8, 2022
14	**July 5, 2022**	July 6, 2022	July 8, 2022	July 9, 2022	July 11, 2022	July 15, 2022	July 18, 2022	July 22, 2022
15	July 18, 2022	July 20, 2022	July 22, 2022	July 23, 2022	July 25, 2022	July 29, 2022	August 1, 2022	August 5, 2022
16	August 1, 2022	August 3, 2022	August 5, 2022	August 6, 2022	August 8, 2022	August 12, 2022	August 15, 2022	August 19, 2022
17	August 22, 2022	August 24, 2022	August 26, 2022	August 27, 2022	August 29, 2022	September 2, 2022	**September 6, 2022**	September 9, 2022
18	**September 6, 2022**	September 7, 2022	September 9, 2022	September 10, 2022	September 12, 2022	September 16, 2022	September 19, 2022	September 23, 2022
19	September 19, 2022	September 21, 2022	September 23, 2022	September 24, 2022	September 26, 2022	September 30, 2022	October 3, 2022	October 7, 2022
20	October 3, 2022	October 5, 2022	October 7, 2022	October 8, 2022	October 10, 2022	October 14, 2022	October 17, 2022	October 21, 2022
21	October 17, 2022	October 19, 2022	October 21, 2022	October 22, 2022	October 24, 2022	October 28, 2022	October 31, 2022	November 4, 2022
22	October 31, 2022	November 2, 2022	November 4, 2022	November 5, 2022	November 7, 2022	November 11, 2022	November 14, 2022	November 18, 2022
23	November 21, 2022	November 23, 2022	November 25, 2022	November 26, 2022	November 28, 2022	December 2, 2022	December 5, 2022	December 9, 2022
24	December 5, 2022	December 7, 2022	December 9, 2022	December 10, 2022	December 12, 2022	December 16, 2022	December 19, 2022	**December 22, 2022**

- **Please note all requests for payment are due on this day via KBTPO. Any requests received after this day will be processed on the next check run.**
- ** **Please note all superintendent approvals are due on this day via KBTPO. Any approvals completed after this day will be processed on the next check run.**

Dates in bold are changes due to holiday schedules.

MLB -4/3/2023

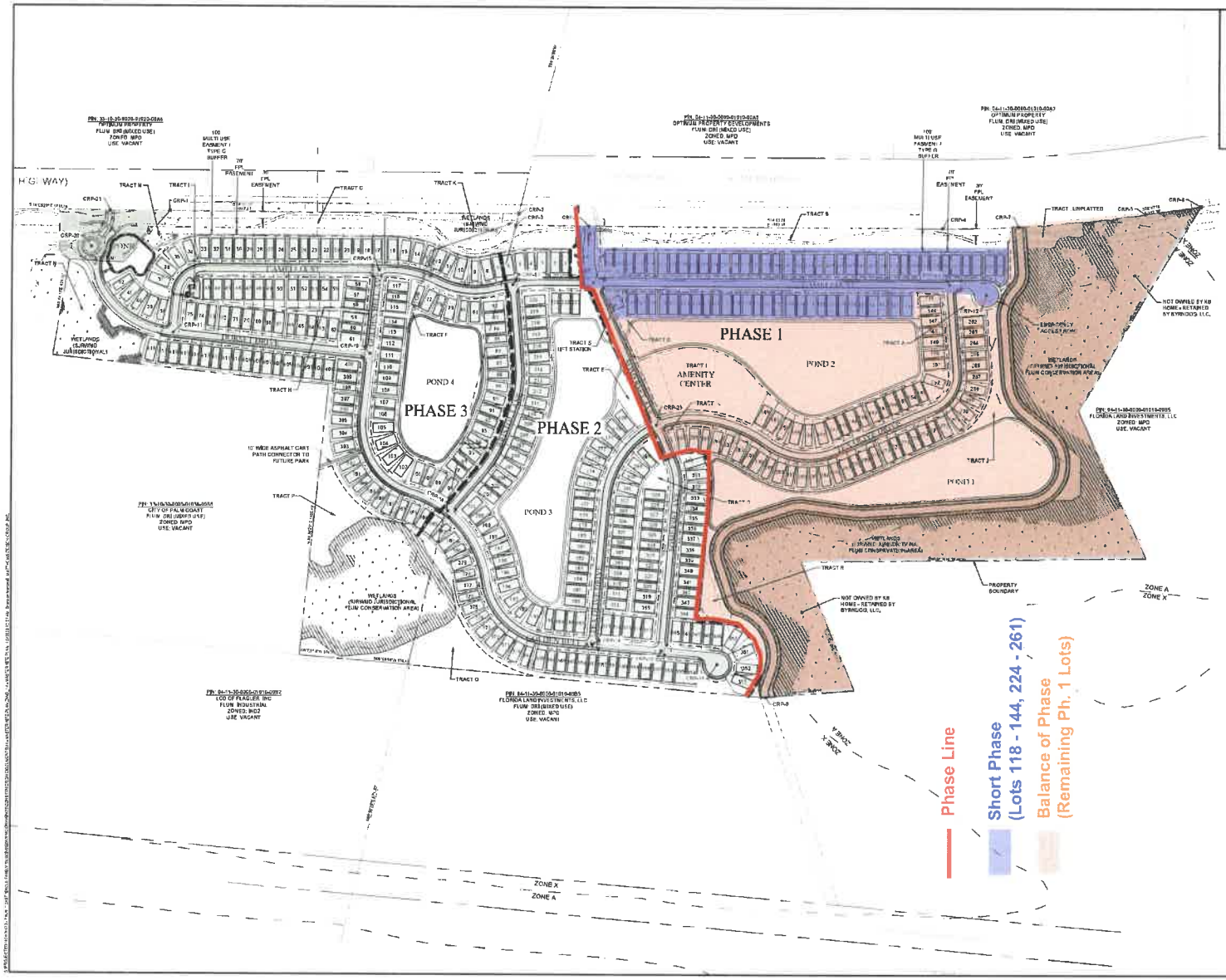
Contractor: Pipeline Constructors, Inc.
Master Subcontract Date: 5/15/2020
Term of Master Subcontract: 5/15/2020 to N/A

Exhibit D to Work Agreement

Short Phase & Balance of Phase

See following pages:

MLB -4/3/2023



GRAPHIC SCALE

1" = 200'

LOT SETBACKS	
SETBACKS, FRONT/BACK/SIDES	20'/10'/5'

HATCH LEGEND	
WETLANDS	
UPLAND BUFFER	

SITE DATA TABLE		
ZONING CLASSIFICATION		MPD
OVERLAY DISTRICT		N/A
PARCEL BREAKDOWN		[illegible]
TRAFFIC ANALYSIS ZONE		N/A
TOTAL SITE	5,797,323 SF	133.09 AC
TOTAL PROJECT AREA	4,338,024 SF	100.09 AC
TOTAL WETLANDS	1,152,102 SF	26.44 AC
IMPACTED WETLANDS (ON SITE)	174,963 SF	4.04 AC
IMPACTED WETLANDS (OFF SITE)	26,986 SF	0.59 AC
NET PROJECT AREA	4,163,061 SF	95.56 AC
UPLAND BUFFER REQUIRED	365,248 SF	8.61 AC
UPLAND BUFFER PROVIDED	217,688 SF	5.00 AC
NUMBER OF PROPOSED LOTS		418
PHASE 1 PROPOSED LOTS	60 Ph	125
PHASE 2 PROPOSED LOTS	48 Ph	147
PHASE 3 PROPOSED LOTS	52 Ph	146
DEVELOPMENT DENSITY		3.14 DU PER AC.
TOTAL IMPERVIOUS	[illegible]	43.31 AC
TOTAL PERVIOUS	[illegible]	52.25 AC
TOTAL IMPERVIOUS %		32%
TOTAL PERVIOUS %		68%
ACTIVE RECREATION REQUIRED	[illegible]	3.13 AC
ACTIVE RECREATION PROVIDED	665,025 SF	15.26 AC
PASSIVE RECREATION PROVIDED	547,281 SF	12.56 AC
SIDEWALK	79,842 SF	1.14 AC
SIDEWALK %	[illegible]	1.83%
AMENITY CENTER	[illegible]	1.01 AC
TOTAL OPEN SPACE	[illegible]	[illegible]
FLUM CLASSIFICATION(S)		MIXED USE AND CONSERVATION
PHASING INFORMATION		N/A
[illegible]		ZONE X & ZONE A
FIRM PANEL NUMBER(S)		12035C0119E

UPLAND BUFFER TABLE		
BORDERING CONSERVATION AREAS		
WETLAND PERIMETER LENGTH	7,483 FT	
REQUIRED BUFFER (18 AC-ft AVERAGE WIDTH)	375,108 SF	8.61 AC
BUFFER WIDTH PROVIDED	401,457 SF	9.21 AC
BORDERING NON CONSERVATION AREAS		
WETLAND PERIMETER LENGTH	844 SF	0.01 AC
REQUIRED BUFFER AREA (25 AVERAGE WIDTH)	18,158 SF	0.33 AC
BUFFER WIDTH PROVIDED	18,159 SF	0.73 AC
TOTAL UPLAND BUFFER		
TOTAL UPLAND BUFFER REQUIRED	393,266 SF	9.03 AC
TOTAL UPLAND BUFFER PROVIDED	417,616 SF	9.58 AC

CONSTRUCTION REFERENCE POINTS		
NAME	NORTHING	EASTING
CRP-1	1903857.87	587188.68
CRP-2	1903995.58	587585.84
CRP-3	1903995.03	587514.43
CRP-4	1903981.55	587386.84
CRP-5	1903741.83	586246.27
CRP-6	1902[illegible]	585541.53
CRP-7	1900295.88	588[illegible].04
CRP-8	1900886.78	591194.02
CRP-9	1900037.16	591[illegible]
CRP-10	1897355.73	594478.86
CRP-11	1901718.11	[illegible]
CRP-12	1900324.45	597733.60
CRP-13	[illegible]	[illegible]
CRP-14	[illegible]	[illegible]
CRP-15	[illegible]	[illegible]
CRP-16	1901094.11	599471.50
CRP-17	1900334.91	597298.86
CRP-18	1900237.98	596137.87
CRP-19	1900857.84	596814.10
CRP-20	1910148.84	59[illegible]
CRP-21	1910130.18	59[illegible]

REVISIONS		
NO.	DATE	
1	09/27/22	FIRST SUBMITTAL RESPONSE ADDRESSED TO COPC
2	11/01/22	SECOND SUBMITTAL REVISIONS ADDRESSED TO COPC
3	01/05/23	REVISED PER DOT COMMENTS

DJM DJM FRJ 07/01/22 21073

MATTHEWS DESIGN GROUP
P.O. BOX 3126, 7 WALDO STREET
ST. AUGUSTINE, FL 32084
PHONE: 904.826.4547 FAX: 904.826.4549
INFO@MDGINC.COM

MCB 4/3/2023

MASTER SITE PLAN

SOMERSET AT PALM COAST PARK

CITY OF PALM COAST

PREPARED FOR KB HOME

Instrument No: 2024023724 6/6/2024 4:28 PM PLAT BOOK: 42 PAGE: 30 PAGES: 6
RECORDED IN THE OFFICIAL RECORDS OF Tom Bexley, Clerk of the Circuit Court & Comptroller Flagler, FL

SOMERSET AT PALM COAST PARK PHASE 1

A PORTION OF SECTION 4, TOWNSHIP 11 SOUTH, RANGE 30 EAST, PALM COAST, FLAGLER COUNTY, FLORIDA.

CAPTION

A PORTION SECTION 4, TOWNSHIP 11 SOUTH, RANGE 30 EAST, FLAGLER COUNTY, FLORIDA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FOR A POINT OF REFERENCE, COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 4, TOWNSHIP 11 SOUTH, RANGE 30 EAST, FLAGLER COUNTY, FLORIDA. THENCE S89°13'05"W, ALONG THE NORTH LINE OF SAID SECTION 4 AS SHOWN ON STATE ROAD DEPARTMENT RIGHT OF WAY MAP FOR STATE ROAD NO. 5, SECTION NO. 7301 - (105) 275, A DISTANCE OF 1649.03 FEET TO A POINT OF TRANSITION ON THE WESTERLY RIGHT OF WAY LINE OF U.S. HIGHWAY NO. 1 (STATE ROAD NO. 5), A 175 FOOT WIDTH RIGHT OF WAY AT SAID POINT; THENCE S89°13'05"W, CONTINUING ALONG SAID NORTH LINE OF SECTION 4 AND SAID WESTERLY RIGHT OF WAY LINE, A DISTANCE OF 51.35 FEET TO A POINT ON SAID WESTERLY RIGHT OF WAY LINE OF U.S. HIGHWAY NO. 1 (STATE ROAD NO. 5), A 300 FOOT RIGHT OF WAY AT LAST SAID POINT; THENCE S14°05'38"E, CONTINUING ALONG SAID WESTERLY RIGHT OF WAY LINE, A DISTANCE OF 260.56 FEET TO THE POINT OF BEGINNING; THENCE S14°05'38"E, CONTINUING ALONG SAID WESTERLY RIGHT OF WAY LINE, A DISTANCE OF 1592.54 FEET TO A POINT OF CURVATURE OF A CURVE BEING CONCAVE NORTHEASTERLY AND HAVING A RADIUS OF 5829.65 FEET; THENCE SOUTHERLY ALONG THE ARC OF LAST SAID CURVE AN ARC DISTANCE OF 300.65 FEET, LAST SAID CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF S15°37'36"E, 300.62 FEET TO A NON-TANGENT POINT OF LAST SAID CURVE; THENCE S71°05'31"W, DEPARTING SAID WESTERLY RIGHT OF WAY LINE, A DISTANCE OF 193.75 FEET TO A POINT OF CURVATURE OF A CURVE BEING CONCAVE NORTHERLY AND HAVING A RADIUS OF 80.00 FEET; THENCE WESTERLY ALONG THE ARC OF LAST SAID CURVE AN ARC DISTANCE OF 66.77 FEET, LAST SAID CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF N84°59'34"W, 64.85 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE BEING CONCAVE SOUTHERLY AND HAVING A RADIUS OF 210.00 FEET; THENCE WESTERLY ALONG THE ARC OF LAST SAID CURVE AN ARC DISTANCE OF 175.27 FEET, LAST SAID CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF N84°59'52"W, 170.23 FEET TO A POINT OF TANGENCY; THENCE S71°05'31"W, A DISTANCE OF 262.67 FEET TO A POINT OF CURVATURE OF A CURVE BEING CONCAVE SOUTHERLY AND HAVING A RADIUS OF 235.00 FEET; THENCE WESTERLY ALONG THE ARC OF LAST SAID CURVE AN ARC DISTANCE OF 194.64 FEET, LAST SAID CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF S47°21'55"W, 189.12 FEET TO A POINT OF TANGENCY; THENCE S23°38'18"W, A DISTANCE OF 120.07 FEET TO A POINT OF CURVATURE OF A CURVE BEING CONCAVE NORTHERLY AND HAVING A RADIUS OF 140.00 FEET; THENCE WESTERLY ALONG THE ARC OF LAST SAID CURVE AN ARC DISTANCE OF 336.83 FEET, LAST SAID CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF N87°26'10"W, 261.27 FEET TO A POINT OF TANGENCY; THENCE N18°30'38"W, A DISTANCE OF 674.54 FEET TO A POINT OF CURVATURE OF A CURVE BEING CONCAVE EASTERLY AND HAVING A RADIUS OF 500.00 FEET; THENCE NORTHERLY ALONG THE ARC OF LAST SAID CURVE AN ARC DISTANCE OF 107.53 FEET, LAST SAID CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF N12°20'58"W, 107.32 FEET TO A POINT OF TANGENCY; THENCE N06°11'19"W, A DISTANCE OF 185.21 FEET TO A POINT OF CURVATURE OF A CURVE BEING CONCAVE WESTERLY AND HAVING A RADIUS OF 160.00 FEET; THENCE NORTHERLY ALONG THE ARC OF LAST SAID CURVE AN ARC DISTANCE OF 71.62 FEET, LAST SAID CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF N20°02'29"W, 71.02 FEET TO A POINT OF TANGENCY; THENCE N32°51'53"W, A DISTANCE OF 244.30 FEET TO A POINT OF CURVATURE OF A CURVE BEING CONCAVE SOUTHERLY AND HAVING A RADIUS OF 160.00 FEET; THENCE WESTERLY ALONG THE ARC OF LAST SAID CURVE AN ARC DISTANCE OF 251.32 FEET, LAST SAID CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF N77°51'53"W, 226.27 FEET TO A POINT OF TANGENCY; THENCE S57°08'07"W, A DISTANCE OF 176.74 FEET TO A POINT OF CURVATURE OF A CURVE BEING CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 90.00 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF LAST SAID CURVE AN ARC DISTANCE OF 84.76 FEET, LAST SAID CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF S30°09'27"W, 81.66 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE BEING CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 182.00 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF LAST SAID CURVE AN ARC DISTANCE OF 290.73 FEET, LAST SAID CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF S48°56'31"W, 260.79 FEET TO A POINT OF TANGENCY; THENCE N85°17'46"W, A DISTANCE OF 54.90 FEET TO A POINT OF CURVATURE OF A CURVE BEING CONCAVE SOUTHERLY AND HAVING A RADIUS OF 100.00 FEET; THENCE WESTERLY ALONG THE ARC OF LAST SAID CURVE AN ARC DISTANCE OF 65.37 FEET, LAST SAID CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF S73°55'10"W, 64.40 FEET TO A POINT OF TANGENCY; THENCE S57°08'07"W, A DISTANCE OF 9.08 FEET TO THE SOUTHEAST CORNER OF THOSE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 586, PAGE 1513 OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE N09°09'52"W, ALONG THE EAST LINE OF LAST SAID LANDS, A DISTANCE OF 58.59 FEET TO A POINT ON A NON-TANGENT CURVE, SAID CURVE BEING CONCAVE NORTHERLY AND HAVING A RADIUS OF 191.70 FEET; THENCE EASTERLY, DEPARTING LAST SAID EAST LINE AND ALONG THE ARC OF LAST SAID CURVE, AN ARC DISTANCE OF 257.27 FEET, LAST SAID CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF N82°43'54"E, 238.39 FEET TO A POINT OF NON-TANGENCY; THENCE N34°30'50"E, A DISTANCE OF 65.06 FEET TO A POINT ON A NON-TANGENT CURVE BEING CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 191.70 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF LAST SAID CURVE, AN ARC DISTANCE OF 62.83 FEET, LAST SAID CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF N15°13'54"E, 62.55 FEET TO A POINT OF NON-TANGENCY; THENCE N09°10'32"W, A DISTANCE OF 155.12 FEET; THENCE N80°49'28"E, A DISTANCE OF 569.60 FEET TO A POINT OF CURVATURE OF A CURVE BEING CONCAVE NORTHERLY AND HAVING A RADIUS OF 395.00 FEET; THENCE EASTERLY ALONG THE ARC OF LAST SAID CURVE, AN ARC DISTANCE OF 171.92 FEET, LAST SAID CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF N68°21'21"E, 170.56 FEET TO A POINT ON A CURVE BEING CONCAVE WESTERLY AND HAVING A RADIUS OF 450.00 FEET; THENCE NORTHERLY ALONG THE ARC OF LAST SAID CURVE, AN ARC DISTANCE OF 37.73 FEET, LAST SAID CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF N07°57'10"W, 37.72 FEET TO A POINT OF COMPOUND CURVATURE OF A CURVE BEING CONCAVE WESTERLY AND HAVING A RADIUS OF 234.50 FEET; THENCE NORTHERLY ALONG THE ARC OF LAST SAID CURVE, AN ARC DISTANCE OF 90.98 FEET, LAST SAID CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF N21°28'09"W, 90.41 FEET TO A POINT OF NON-TANGENCY; THENCE S51°09'58"W, A DISTANCE OF 13.83 FEET; THENCE N38°50'02"W, 50.00 FEET; THENCE N51°09'58"E, A DISTANCE OF 773.12 FEET TO A POINT OF CURVATURE OF A CURVE BEING CONCAVE SOUTHERLY AND HAVING A RADIUS OF 525.00 FEET; THENCE EASTERLY ALONG THE ARC OF LAST SAID CURVE, AN ARC DISTANCE OF 40.30 FEET, LAST SAID CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF N53°21'54"E, 40.29 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE BEING CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 11.00 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF LAST SAID CURVE AN ARC DISTANCE OF 13.37 FEET, LAST SAID CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF N20°44'10"E, 12.56 FEET TO A POINT OF TANGENCY; THENCE N14°05'30"W, A DISTANCE OF 8.18 FEET TO A POINT ON A CURVE BEING CONCAVE SOUTHERLY AND HAVING A RADIUS OF 540.17 FEET; THENCE EASTERLY ALONG THE ARC OF LAST SAID CURVE, AN ARC DISTANCE OF 65.70 FEET, LAST SAID CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF N60°26'54"E, 65.66 FEET TO A POINT OF CUSP OF A CURVE BEING CONCAVE NORTHEASTERLY AND HAVING A RADIUS OF 11.00 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF LAST SAID CURVE, AN ARC DISTANCE OF 19.58 FEET, LAST SAID CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF N65°04'46"W, 17.09 FEET TO A POINT OF TANGENCY; THENCE N14°05'30"W, A DISTANCE OF 40.75 FEET; THENCE N75°54'30"E, A DISTANCE OF 120.00 FEET; THENCE S55°56'05"E, A DISTANCE OF 38.76 FEET; THENCE N75°38'40"E, A DISTANCE OF 80.47 FEET TO SAID WESTERLY RIGHT OF WAY LINE AND THE POINT OF BEGINNING.

CONTAINING 47.80 ACRES, MORE OR LESS.

CERTIFICATE OF APPROVAL

THIS IS TO CERTIFY THAT ON 15th DAY OF May, 2024, THIS PLAT WAS APPROVED.

BY: _____
CITY ENGINEER
CITY OF PALM COAST, FLORIDA

PRINT NAME: Dennis Leap

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT THE ABOVE PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE LANDS SURVEYED, PLATTED AND DESCRIBED IN THE CAPTION, THAT THE SURVEY WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT THIS PLAT COMPLIES WITH ALL SURVEY REQUIREMENTS OF CHAPTER 177, PART I, FLORIDA STATUTES.

SIGNED THIS 29th DAY OF April, 2024.

_____
NATHAN P. PERRET, P.S.M.
PROFESSIONAL LAND SURVEYOR AND MAPPER NO. 6900
PERRET AND ASSOCIATES, INC.

ADOPTION AND DEDICATION

KNOW ALL MEN BY THESE PRESENTS, THAT KB HOME JACKSONVILLE LLC. A DELAWARE LIMITED LIABILITY COMPANY ("OWNER"), IS THE FEE SIMPLE OWNER OF THE LANDS DESCRIBED IN THE CAPTION HEREON WHICH SHALL HEREAFTER BE KNOWN AS SOMERSET AT PALM COAST PARK PHASE 1, LOCATED IN THE CITY OF PALM COAST, FLAGLER COUNTY, FLORIDA DOES HEREBY DEDICATE SAID LANDS AND PLAT FOR THE USES AND PURPOSES HEREIN EXPRESSED.

THE OWNER HEREBY DEDICATES THE ROAD RIGHTS-OF-WAY (SOMERSET AVENUE, CAMELLIA STREET, AND TEA OLIVE DRIVE) TO PALM COAST PARK COMMUNITY DEVELOPMENT DISTRICT, A LOCAL UNIT OF SPECIAL PURPOSE GOVERNMENT ESTABLISHED PURSUANT TO CHAPTER 190, FLORIDA STATUTES, ITS SUCCESSORS AND ASSIGNS. NO PART OF SAID LANDS IS DEDICATED TO THE CITY OF PALM COAST OR THE PUBLIC, EXCEPT AS OTHERWISE EXPRESSLY STATED HEREIN OR SHOWN ON THE PLAT. PALM COAST PARK COMMUNITY DEVELOPMENT DISTRICT, ITS SUCCESSORS AND ASSIGNS WILL HAVE THE OBLIGATION OF MAINTENANCE OF SAID RIGHT-OF-WAYS.

THE OWNER, ITS SUCCESSORS AND ASSIGNS, SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER ALL RIGHT OF WAYS, EASEMENTS AND TRACTS DESIGNATED ON THIS PLAT FOR THE PURPOSE OF CONSTRUCTING OR MAINTAINING ANY ROAD, UTILITIES, DRAINAGE FACILITIES, PONDS, DITCHES, OR OTHERWISE, EXCEPT AS HEREINAFTER PROVIDED.

THE OWNER HEREBY DEDICATES TRACT "A", "B", "D", "G", "H" AND "K" (OPEN SPACE) TO PALM COAST PARK COMMUNITY DEVELOPMENT DISTRICT, A LOCAL UNIT OF SPECIAL PURPOSE GOVERNMENT ESTABLISHED PURSUANT TO CHAPTER 190, FLORIDA STATUTES,, ITS SUCCESSORS AND ASSIGNS. NO PART OF SAID LANDS IS DEDICATED TO THE CITY OF PALM COAST OR THE PUBLIC, EXCEPT AS OTHERWISE EXPRESSLY STATED HEREIN OR SHOWN ON THE PLAT. PALM COAST PARK COMMUNITY DEVELOPMENT DISTRICT, ITS SUCCESSORS AND ASSIGNS WILL HAVE THE OBLIGATION OF MAINTENANCE OF SAID TRACTS.

THE OWNER HEREBY DEDICATES TRACT "C" AND "F" (PRESERVATION) TO PALM COAST PARK COMMUNITY DEVELOPMENT DISTRICT, A LOCAL UNIT OF SPECIAL PURPOSE GOVERNMENT ESTABLISHED PURSUANT TO CHAPTER 190, FLORIDA STATUTES,, ITS SUCCESSORS AND ASSIGNS. NO PART OF SAID LANDS IS DEDICATED TO THE CITY OF PALM COAST OR THE PUBLIC, EXCEPT AS OTHERWISE EXPRESSLY STATED HEREIN OR SHOWN ON THE PLAT. PALM COAST PARK COMMUNITY DEVELOPMENT DISTRICT, ITS SUCCESSORS AND ASSIGNS WILL HAVE THE OBLIGATION OF MAINTENANCE OF SAID TRACTS.

THE OWNER HEREBY DEDICATES TRACT "E" AND "J"(SWMF) TO PALM COAST PARK COMMUNITY DEVELOPMENT DISTRICT, A LOCAL UNIT OF SPECIAL PURPOSE GOVERNMENT ESTABLISHED PURSUANT TO CHAPTER 190, FLORIDA STATUTES,, ITS SUCCESSORS AND ASSIGNS. NO PART OF SAID LANDS IS DEDICATED TO THE CITY OF PALM COAST OR THE PUBLIC, EXCEPT AS OTHERWISE EXPRESSLY STATED HEREIN OR SHOWN ON THE PLAT. PALM COAST PARK COMMUNITY DEVELOPMENT DISTRICT, ITS SUCCESSORS AND ASSIGNS WILL HAVE THE OBLIGATION OF MAINTENANCE OF SAID TRACTS.

THE OWNER HEREBY DEDICATES AN EASEMENT FOR INGRESS AND EGRESS OVER ALL PRIVATE RIGHTS-OF-WAY TO THE CITY OF PALM COAST, THE CITY OF PALM COAST, FLORIDA, FLAGLER COUNTY, FLORIDA, THE STATE OF FLORIDA, AND THE FEDERAL GOVERNMENT OF THE UNITED STATES OF AMERICA SHALL BE ALLOWED ACCESS ON THE PRIVATE DRIVES, ROADS, PEDESTRIAN WAYS, EASEMENTS, AND COMMON OPEN SPACES TO ENSURE AND PROVIDE FOR THE POLICE AND FIRE PROTECTION OF THE AREA, THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES, AND FOR INGRESS AND EGRESS FOR LAW ENFORCEMENT AND EMERGENCY VEHICLES, MAIL AND PACKAGE DELIVERY, SOLID WASTE/SANITATION, AND OTHER SIMILAR GOVERNMENTAL AND QUASI-GOVERNMENTAL SERVICES, AND TO ENSURE THE HEALTH AND SAFETY OF THE RESIDENTS AND GUESTS OF RESIDENTS.

TRACT "I" (AMENITY) SHALL REMAIN OWNED AND THE SOLE AND EXCLUSIVE PROPERTY OF THE OWNER, ITS SUCCESSORS AND ASSIGNS. PROVIDED HOWEVER, THAT THE OWNER RESERVES THE RIGHT TO CONVEY TITLE TO SAID TRACTS TO AN ENTITY, INCLUDING WITHOUT LIMITATION, A MUNICIPAL SERVICES TAXING UNIT, COMMUNITY DEVELOPMENT DISTRICT, OR SUCH ENTITY AS WILL ASSUME ALL OBLIGATION OF MAINTENANCE AND OPERATION THEREOF UNDER THE PLAT AS PERMITTED BY LAW.

TRACT "L" (LIFT STATION) IS HEREBY DEDICATED TO THE CITY OF PALM COAST. ITS SUCCESSORS AND ASSIGNS FOR UTILITY PURPOSES AND IS THE PERPETUAL MAINTENANCE OBLIGATION OF SAID CITY OF PALM COAST, ITS SUCCESSORS AND ASSIGNS. FLORIDA POWER AND LIGHT COMPANY AND ITS SUCCESSORS AND ASSIGNS ARE HEREBY IRREVOCABLY DEDICATED AN EASEMENT OVER ALL OF TRACT "L" (LIFT STATION) AS SHOWN ON THIS PLAT FOR ITS USE IN CONJUNCTION WITH ITS UNDERGROUND ELECTRICAL DISTRIBUTION SYSTEM.

THE OWNER HEREBY DEDICATES AN EASEMENT FOR INGRESS AND EGRESS OVER ALL DRAINAGE EASEMENTS TO THE CITY OF PALM COAST, ITS SUCCESSORS AND ASSIGNS. THE CITY OF PALM COAST HAS NO MAINTENANCE OBLIGATION WITHIN THE DRAINAGE EASEMENTS BUT HAS ACCESS RIGHTS TO RESTORE FUNCTIONALITY WITHIN THE DRAINAGE EASEMENTS IN THE EVENT THE OWNERS DRAINAGE SYSTEM BECOMES COMPROMISED IN THE CITY'S SOLE JUDGEMENT. ALL DRAINAGE EASEMENTS ARE HEREBY DEDICATED TO PALM COAST PARK COMMUNITY DEVELOPMENT DISTRICT, A LOCAL UNIT OF SPECIAL PURPOSE GOVERNMENT ESTABLISHED PURSUANT TO CHAPTER 190, FLORIDA STATUTES, ITS SUCCESSORS AND ASSIGNS. PALM COAST PARK COMMUNITY DEVELOPMENT DISTRICT, ITS SUCCESSORS AND ASSIGNS WILL HAVE THE OBLIGATION OF MAINTENANCE OF SAID EASEMENTS.

THE OWNER HEREBY DEDICATES AN EASEMENT FOR INGRESS AND EGRESS OVER ALL PRIVATE RIGHTS-OF-WAY FOR MUNICIPAL PURPOSES, INCLUDING CODE ENFORCEMENT TO THE CITY OF PALM COAST, ITS SUCCESSORS AND ASSIGNS. A UTILITY EASEMENT IS DEDICATED TO THE CITY OF PALM COAST, ITS SUCCESSORS AND ASSIGNS, OVER ALL PRIVATE RIGHT OF WAYS AS SHOWN ON THIS PLAT FOR THE CONSTRUCTION, OPERATION, AND MAINTENANCE OF UTILITY FACILITIES. ALL UTILITY EASEMENTS ARE DEDICATED TO THE CITY OF PALM COAST, ITS SUCCESSORS AND ASSIGNS FOR UTILITY PURPOSES INCLUDING THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF PUBLIC UTILITIES. THE CITY OF PALM COAST WILL ONLY BE RESPONSIBLE FOR THE REPAIRS RELATED TO CITY IMPROVEMENTS WITHIN SAID UTILITY EASEMENTS.

NOTHING HEREIN SHALL BE CONSTRUED AS CREATING AN OBLIGATION UPON THE CITY OF PALM COAST TO PERFORM ANY ACT OR CONSTRUCTION OR MAINTENANCE WITHIN ANY DEDICATED AREAS EXCEPT WHEN THE OBLIGATION IS VOLUNTARILY ASSUMED BY THE GOVERNING BODY.

THOSE EASEMENTS DESIGNATED AS "AT&T EASEMENT" ARE HEREBY IRREVOCABLY DEDICATED TO BELLSOUTH TELECOMMUNICATIONS, LLC, A GEORGIA LIMITED LIABILITY COMPANY, D/B/A AT&T FLORIDA, ITS SUCCESSORS AND ASSIGNS, FOR THEIR EXCLUSIVE USE.

THOSE EASEMENTS DESIGNATED AS SIGN EASEMENTS, ARE HEREBY DEDICATED TO KB HOME JACKSONVILLE LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS SUCCESSORS AND ASSIGNS. KB HOME JACKSONVILLE LLC, A DELAWARE LIMITED LIABILITY COMPANY. ITS SUCCESSORS AND ASSIGNS WILL HAVE THE OBLIGATION OF MAINTENANCE OF SAID EASEMENTS.

IN WITNESS THEREOF, Todd Holder OF KB HOME JACKSONVILLE LLC. A DELAWARE LIMITED LIABILITY COMPANY HAS CAUSED THESE PRESENTS TO BE SIGNED THIS 29th DAY OF April, 2024, ON BEHALF OF THE COMPANY.

WITNESS
PRINT NAME: Jim Fiedler

WITNESS
PRINT NAME: Derek Citino

OWNER: KB HOME JACKSONVILLE LLC,
A DELAWARE LIMITED LIABILITY COMPANY

BY: _____
TODD HOLDER
ITS DIVISION PRESIDENT

ACCEPTANCE OF DEDICATION – PALM COAST PARK COMMUNITY DEVELOPMENT DISTRICT

PALM COAST PARK COMMUNITY DEVELOPMENT DISTRICT, A LOCAL UNIT OF SPECIAL PURPOSE GOVERNMENT ESTABLISHED PURSUANT TO CHAPTER 190, FLORIDA STATUTES, HEREBY ACCEPTS THE DEDICATIONS AND/OR RESERVATIONS TO SAID COMMUNITY DEVELOPMENT DISTRICT AS STATED AND SHOWN HEREON. AND HEREBY ACCEPTS ITS MAINTENANCE OBLIGATIONS.

IN WITNESS THEREOF, DAVID R. ROOT CHAIRMAN OF PALM COAST PARK COMMUNITY DEVELOPMENT DISTRICT, HEREBY ACCEPTS THE DEDICATIONS AND/OR RESERVATIONS TO SAID COMMUNITY DEVELOPMENT DISTRICT AS STATED AND SHOWN HEREON, AND HEREBY ACCEPTS ITS MAINTENANCE OBLIGATIONS THIS 1st DAY OF MAY, 2024. ON BEHALF OF PALM COAST PARK COMMUNITY DEVELOPMENT DISTRICT.

WITNESS
PRINT NAME: CLINTON F. SMITH

WITNESS
PRINT NAME: GAYLE G. SMITH

SIGNATURE
DAVID R. ROOT
PRINTED NAME AND TITLE
CHAIRMAN, BOARD OF SUPERVISORS

CORPORATE SEAL: SEAL

REVIEWING SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT THIS PLAT HAS BEEN REVIEWED AND FOUND TO COMPLY WITH THE REQUIREMENTS OF CHAPTER 177, PART I, FLORIDA STATUTES AND THE CITY OF PALM COAST PLATTING REGUALATIONS.

CERTIFIED THIS 6TH DAY OF JUNE 2024.

BY: _____
PROFESSIONAL SURVEYOR AND MAPPER
STATE OF FLORIDA LICENSE NO. 6105

CERTIFICATE OF CLERK

I HEREBY CERTIFY THAT THE FORGOING PLAT WAS FILED FOR RECORD ON 6 DAY OF June, 2024 AT 4:28 PM

BY: _____
CLERK AND EX-OFFICIO CLERK TO THE BOARD OF COUNTY COMMISSIONERS
FLAGLER COUNTY, FLORIDA

PRINT NAME: Tom Bexley

STATE OF FLORIDA, COUNTY OF DUVAL

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF ☑ PHYSICAL PRESENCE OR ☐ ONLINE NOTARIZATION, THIS 10 DAY OF MAY, 2024, BY TODD HOLDER AS DIVISION PRESIDENT. OF KB HOME JACKSONVILLE LLC, A DELAWARE LIMITED LIABILITY COMPANY. ON BEHALF OF THE COMPANY WHO IS PERSONALLY KNOWN TO ME OR WHO PRODUCED _____ AS IDENTIFICATION.

NOTARY PUBLIC, STATE OF FLORIDA AT LARGE

PRINT NAME: Joelle McDermott

COMMISSION NO.: HH516364

MY COMMISSION EXPIRES: 8/10/28

Joelle McDermott
Comm.: HH 516364
Expires: Aug. 8, 2028
Notary Public - State of Florida

STATE OF FLORIDA, COUNTY OF FLAGLER

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF ☑ PHYSICAL PRESENCE OR ☐ ONLINE NOTARIZATION, THIS 10 DAY OF May, 2024, BY David R. Root AS Chairman OF PALM COAST PARK COMMUNITY DEVELOPMENT DISTRICT, A LOCAL UNIT OF SPECIAL PURPOSE GOVERNMENT ESTABLISHED PURSUANT TO CHAPTER 190, FLORIDA STATUTES, ON BEHALF OF THE DISTRICT WHO IS PERSONALLY KNOWN TO ME OR WHO PRODUCED N/A AS IDENTIFICATION.

NOTARY PUBLIC, STATE OF FLORIDA AT LARGE

PRINT NAME: Danielle M. Ferguson

COMMISSION NO.: HH 176415

MY COMMISSION EXPIRES: 1/12/2026

DANIELLE M. FERGUSON
Commission # HH 176415
Expires January 12, 2026
Bonded Thru Troy Fain Insurance 800-385-7019

CERTIFICATE OF APPROVAL BY CITY OF PALM COAST, FLORIDA DEPUTY CHIEF DEVELOPMENT OFFICER

THIS IS TO CERTIFY THAT ON THE 15th DAY OF May 2024, THE FOREGOING PLAT WAS APPROVED BY THE CITY OF PALM COAST, FLORIDA DEPUTY CHIEF DEVELOPMENT OFFICER.

BY: _____
DEPUTY CHIEF DEVELOPMENT OFFICER

PRINT NAME: Ray Tyner

CERTIFICATE OF APPROVAL BY CITY OF PALM COAST, FLORIDA

THIS IS TO CERTIFY THAT ON THE 15th DAY OF May, 2024, THE FOREGOING PLAT WAS APPROVED BY THE CITY COUNCIL OF PALM COAST, FLORIDA.

BY: _____
MAYOR, CITY OF PALM COAST

PRINT NAME: David Alan

ATTEST: _____
CITY CLERK

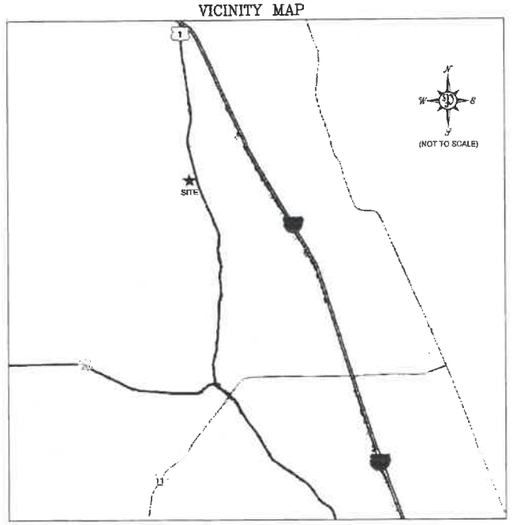
PRINT NAME: Kaley Cook

PREPARED BY:
PERRET AND ASSOCIATES, INC.
1484 MONTICELLO ROAD
JACKSONVILLE, FLORIDA 32207; PHONE (904) 805-0030
L.B. NO. 6715

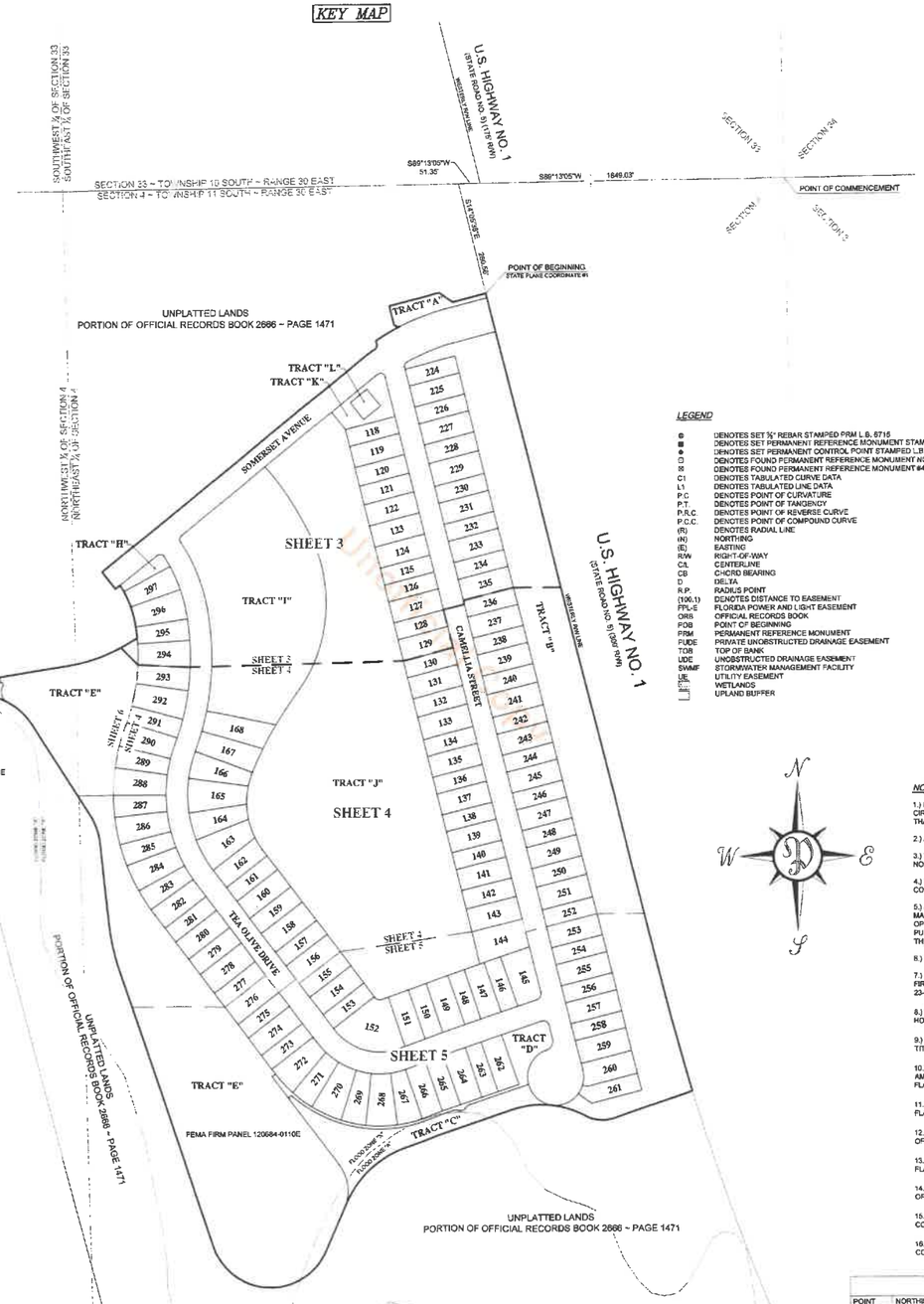
SOMERSET AT PALM COAST PARK PHASE 1

A PORTION OF SECTION 4, TOWNSHIP 11 SOUTH, RANGE 30 EAST, PALM COAST, FLAGLER COUNTY, FLORIDA.

VICINITY MAP



KEY MAP



LOT AREA TABLE (NET AND GROSS)		
LOT	SQUARE FOOTAGE	ACRES
118	4800.00	0.11
119	6000.00	0.14
120	5280.00	0.12
121	5280.00	0.12
122	6000.00	0.14
123	6000.00	0.14
124	6000.00	0.14
125	4800.00	0.11
126	4800.00	0.11
127	6000.00	0.14
128	4800.00	0.11
129	6000.00	0.14
130	4800.00	0.11
131	6000.00	0.14
132	5280.00	0.12
133	6480.00	0.15
134	4800.00	0.11
135	6000.00	0.14
136	4800.00	0.11
137	6000.00	0.14
138	4800.00	0.11
139	6000.00	0.14
140	4800.00	0.11
141	6000.00	0.14
142	5280.00	0.12
143	6480.00	0.15
144	8509.90	0.20
145	7706.23	0.18
146	4800.00	0.11
147	6000.00	0.14
148	4800.00	0.11
149	6480.00	0.15
150	5280.00	0.12
151	6000.00	0.14
152	13512.91	0.31
153	4800.00	[illegible]
154	6000.00	0.14
155	4800.00	0.11
156	6000.00	0.14
157	4800.00	0.11
158	6480.00	0.15
159	5280.00	0.12
160	6000.00	0.14
161	4800.00	0.11
162	6054.44	0.14
163	7955.91	0.18
164	5526.81	0.13
165	8415.10	0.19
166	6850.41	0.16
167	7922.09	0.18

LOT AREA TABLE (NET AND GROSS)		
LOT	SQUARE FOOTAGE	ACRES
168	8467.55	0.19
224	4800.00	0.11
225	6000.00	0.14
226	4800.00	0.11
227	6000.00	0.14
228	5280.00	0.12
229	6480.00	0.15
230	4800.00	0.11
231	6000.00	0.14
232	4800.00	0.11
233	6000.00	0.14
234	4800.00	0.11
235	6000.00	0.14
236	4800.00	0.11
237	6000.00	0.14
238	4800.00	0.11
239	6000.00	0.14
240	5280.00	0.12
241	6480.00	0.15
242	4800.00	0.11
243	6000.00	0.14
244	4800.00	0.11
245	6000.00	0.14
246	4800.00	0.11
247	6000.00	0.14
248	4800.00	0.11
249	6000.00	0.14
250	5280.00	0.12
251	6480.00	0.15
252	4800.00	0.11
253	6000.00	0.14
254	4800.00	0.11
255	6000.00	0.14
256	4800.00	0.11
257	6000.00	0.14
258	4800.00	0.11
259	6480.00	0.15
260	6604.99	0.15
261	6378.64	0.15
262	5999.35	0.14
263	4800.65	0.11
264	6480.00	0.15
265	5280.00	0.12
266	5979.23	0.14
267	5769.39	0.13
268	7145.06	0.16
269	5715.54	0.13
270	7141.50	0.16
271	5468.43	0.13
272	7049.64	0.16

LOT AREA TABLE (NET AND GROSS)		
LOT	SQUARE FOOTAGE	ACRES
273	4800.00	0.11
274	6000.00	0.14
275	4800.00	0.11
276	6000.00	0.14
277	4800.00	0.11
278	6480.00	0.15
279	5280.00	0.12
280	6000.00	0.14
281	4800.00	0.11
282	6157.28	0.14
283	5329.90	0.12
284	6684.33	0.15
285	5332.24	0.12
286	6661.39	0.15
287	5332.24	0.12
288	6684.33	0.15
289	5332.24	0.12
290	6462.71	0.15
291	5062.70	0.12
292	7179.33	0.16
293	5850.99	0.13
294	6645.64	0.15
295	5318.69	0.12
296	7055.86	0.16
297	5775.43	0.13

TRACT AREA TABLE (NET AND GROSS)		
TRACT	SQUARE FOOTAGE	ACRES
"A"	6862.61	0.16
"B"	203232.58	4.67
"C"	33846.96	0.77
"D"	14126.84	0.32
"E"	301671.28	6.93
"F"	19766.75	0.45
"G"	23643.30	0.54
"H"	3289.38	0.08
"I"	131877.78	3.03
"J"	356706.60	8.17
"K"	8097.32	0.19
"L"	2498.64	0.06

LEGEND

●	DENOTES SET ⅝" REBAR STAMPED PRM L.B. 6715
■	DENOTES SET PERMANENT REFERENCE MONUMENT STAMPED L.B. 6715
◆	DENOTES SET PERMANENT CONTROL POINT STAMPED L.B. 6715
○	DENOTES FOUND PERMANENT REFERENCE MONUMENT NO I.D
⊠	DENOTES FOUND PERMANENT REFERENCE MONUMENT #4914
C1	DENOTES TABULATED CURVE DATA
L1	DENOTES TABULATED LINE DATA
P.C	DENOTES POINT OF CURVATURE
P.T	DENOTES POINT OF TANGENCY
P.R.C	DENOTES POINT OF REVERSE CURVE
P.C.C.	DENOTES POINT OF COMPOUND CURVE
(R)	DENOTES RADIAL LINE
(N)	NORTHING
(E)	EASTING
R/W	RIGHT-OF-WAY
C/L	CENTERLINE
CB	CHORD BEARING
D	DELTA
R.P.	RADIUS POINT
(100.1)	DENOTES DISTANCE TO EASEMENT
FPL-E	FLORIDA POWER AND LIGHT EASEMENT
ORB	OFFICIAL RECORDS BOOK
POB	POINT OF BEGINNING
PRM	PERMANENT REFERENCE MONUMENT
PUDE	PRIVATE UNOBSTRUCTED DRAINAGE EASEMENT
TOB	TOP OF BANK
UDE	UNOBSTRUCTED DRAINAGE EASEMENT
SWMF	STORMWATER MANAGEMENT FACILITY
UE	UTILITY EASEMENT
[illegible]	WETLANDS
[illegible]	UPLAND BUFFER

NOTES:

1.) NOTICE: THIS PLAT AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LAND DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

2.) ALL BEARINGS SHOWN HERE ON ARE BASED ON THE WEST R/W LINE OF U.S. HIGHWAY NO. 1 AS S14°05'38"E

3.) THE INTENDED USE OF THESE COORDINATES IS FOR GIS BASE MAPPING PURPOSES. STATE PLANE COORDINATES SHOWN HEREON ARE BASED ON NORTH AMERICAN DATUM OF 1983 (NSRS 2011), FLORIDA EAST ZONE 0901

4.) THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THE PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.

5.) ALL PLATTED UTILITY EASEMENTS SHALL PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES BY SECTION 177.091 (28), FLORIDA STATUTES.

6.) SECTION LINES DEPICTED HEREON ARE GRAPHIC REPRESENTATIONS ONLY AND DO NOT REFLECT FIELD MEASUREMENTS UNLESS OTHERWISE NOTED.

7.) DO NOT USE THIS PLAT FOR FLOOD ZONE DETERMINATION. THE FLOOD INSURANCE RATE MAP IS SUBJECT TO CHANGE. USE THE CURRENT APPROVED FIRM FOR COMMUNITY PANEL NUMBER, DATE AND FLOOD ZONE DETERMINATIONS. LOTS 254 THROUGH 258 ARE SUBJECT TO LOMA CASE NO. 23-04-0013A-120684, DATED 12-18-2022.

8.) ALL SIDEWALKS LOCATED ADJACENT TO CERTAIN LOTS WILL BE PRIVATELY OWNED AND MAINTAINED BY THE SOMERSET AT PALM COAST HOMEOWNERS ASSOCIATION, ITS SUCCESSORS AND ASSIGNS.

9.) THIS PLAT WAS PREPARED WITH THE BENEFIT OF A PROPERTY INFORMATION REPORT FOR THE FILING OF A SUBDIVISION PLAT BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED AUGUST 9TH, 2023.

10.) LANDS SHOWN HEREON ARE SUBJECT TO A PERPETUAL MULTI-USE EASEMENT AGREEMENT RECORDED IN BOOK 1475, PAGE 1588, AND/OR AMENDMENTS AND MODIFICATIONS THEREOF RECORDED IN BOOK 1570, PAGE 942 AND/OR BOOK 1914, PAGE 1924, ALL OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA

11.) LANDS SHOWN HEREON ARE SUBJECT TO A NON-EXCLUSIVE UTILITY EASEMENT RECORDED IN BOOK 1545, PAGE 226 OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.

12.) LANDS SHOWN HEREON ARE SUBJECT TO A CITY OF PALM COAST UTILITY EASEMENT RECORDED IN BOOK 1574, PAGE 1821 OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.

13.) LANDS SHOWN HEREON ARE SUBJECT TO A IRRIGATION EASEMENT AGREEMENT RECORDED IN BOOK 2188, PAGE 1391 OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.

14.) THIS PLAT IS SUBJECT TO THE PALM COAST PARK DEVELOPMENT OF REGIONAL IMPACT DEVELOPMENT ORDER RECORDED IN THE OFFICIAL RECORDS OF FLAGLER COUNTY, FLORIDA, AT BOOK 1177 PAGE 1796 AND AS AMENDED.

15.) LANDS SHOWN HEREON ARE SUBJECT TO A NON-EXCLUSIVE EASEMENT RECORDED IN BOOK 2859, PAGE 1576 OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.

16.) LANDS SHOWN HEREON ARE SUBJECT TO A NON-EXCLUSIVE EASEMENT RECORDED IN BOOK 2860, PAGE 509 OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.

STATE PLANE COORDINATES TABLE

POINT	NORTHING	EASTING	DESCRIPTION
1	1908126.3047	567580.7348	POINT OF BEGINNING
2	1906837.5823	565789.1210	SOUTHWEST CORNER OF TRACT "G"

PREPARED BY:
PERRET AND ASSOCIATES, INC.
1484 MONTICELLO ROAD
JACKSONVILLE, FLORIDA 32207; PHONE (904) 805-0030
L.B. NO. 6715

SOMERSET AT PALM COAST PARK PHASE 1

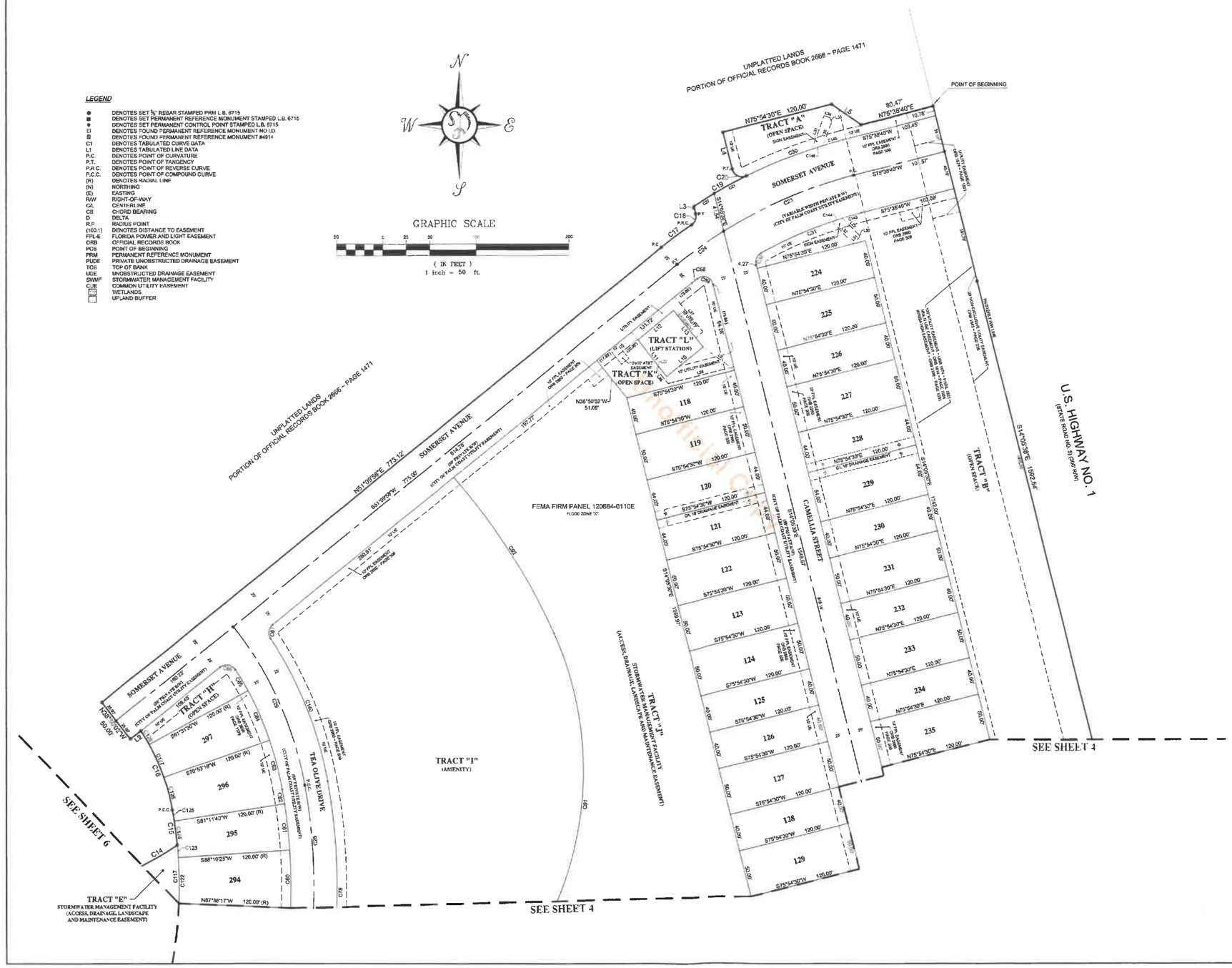
A PORTION OF SECTION 4, TOWNSHIP 11 SOUTH, RANGE 30 EAST, PALM COAST, FLAGLER COUNTY, FLORIDA.

LEGEND

- ● DENOTES SET ½" REBAR STAMPED PRM L.B. 6715
- ■ DENOTES SET PERMANENT REFERENCE MONUMENT STAMPED L.B. 6715
- ◆ DENOTES SET PERMANENT CONTROL POINT STAMPED L.B. 6715
- ⊡ DENOTES FOUND PERMANENT REFERENCE MONUMENT NO I.D.
- ⊠ DENOTES FOUND PERMANENT REFERENCE MONUMENT #4914
- C1 DENOTES TABULATED CURVE DATA
- L1 DENOTES TABULATED LINE DATA
- P.C. DENOTES POINT OF CURVATURE
- P.T. DENOTES POINT OF TANGENCY
- P.R.C. DENOTES POINT OF REVERSE CURVE
- P.C.C. DENOTES POINT OF COMPOUND CURVE
- (R) DENOTES RADIAL LINE
- (N) NORTHING
- (E) EASTING
- R/W RIGHT-OF-WAY
- C/L CENTERLINE
- CB CHORD BEARING
- Δ DELTA
- R.P. RADIUS POINT
- (100.1) DENOTES DISTANCE TO EASEMENT
- FPL-E FLORIDA POWER AND LIGHT EASEMENT
- ORB OFFICIAL RECORDS BOOK
- POB POINT OF BEGINNING
- PRM PERMANENT REFERENCE MONUMENT
- PUDE PRIVATE UNOBSTRUCTED DRAINAGE EASEMENT
- TOB TOP OF BANK
- UDE UNOBSTRUCTED DRAINAGE EASEMENT
- SWMF STORMWATER MANAGEMENT FACILITY
- CUE COMMON UTILITY EASEMENT
- WETLANDS
- UPLAND BUFFER

GRAPHIC SCALE

(IN FEET)
1 inch = 50 ft.



LINE TABLE		
LINE #	LENGTH	DIRECTION
L2	13.80'	S31°09'38"W
L3	8.18'	N14°05'30"W
L4	40.73'	N14°05'30"W
L5	39.76'	S65°56'00"E
L8	42.07'	N54°06'13"W
L10	50.69'	S51°06'13"W
L11	50.69'	N38°53'47"W
L12	49.95'	N51°06'13"E
L13	50.02'	S38°53'47"E
L26	19.82'	N38°53'00"W
L27	3.61'	N51°06'13"E
L28	72.88'	S76°54'30"W
L29	26.59'	S44°13'54"E
L30	1.83'	S14°05'30"E
L31	9.69'	S45°46'06"W
L32	32.90'	N44°13'54"W
L33	37.84'	N20°13'32"E
L34	7.15'	S66°46'12"E
L35	5.00'	S14°05'30"E
L36	23.78'	S20°13'32"W
L37	46.18'	S38°53'47"E

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C14	171.92'	395.00'	24°56'18"	N68°21'21"E	170.56'
C15	37.73'	450.00'	4°48'14"	N27°57'13"W	37.72'
C16	90.98'	234.59'	22°12'43"	N21°28'09"W	90.41'
C17	40.30'	535.00'	4°23'33"	N19°21'54"E	40.29'
C18	13.37'	11.00'	69°39'25"	N20°44'12"E	12.56'
C19	65.70'	540.17'	6°58'07"	N60°26'54"E	65.66'
C20	19.58'	11.00'	101°58'32"	N59°04'46"W	17.09'
C21	39.46'	540.17'	4°11'14"	S61°50'21"W	39.47'
C22	26.22'	540.17'	2°46'54"	S58°21'17"W	26.22'
C23	152.19'	500.00'	17°26'25"	S66°55'28"W	151.61'
C24	61.42'	500.00'	7°02'18"	S54°41'07"W	61.38'
C25	320.94'	595.00'	30°54'18"	N56°05'52"E	317.06'
C26	188.19'	378.52'	28°28'51"	N24°33'13"W	186.18'
C30	110.42'	540.17'	11°42'48"	S65°47'19"W	110.22'
C31	116.35'	460.11'	14°29'18"	N68°34'01"E	116.04'
C32	14.44'	11.00'	75°14'52"	N23°31'58"E	13.43'
C60	61.99'	570.00'	6°13'18"	S60°42'56"E	61.87'
C61	49.53'	570.00'	4°58'46"	S66°18'55"E	49.52'
C62	18.41'	570.00'	1°32'57"	S69°34'49"E	18.41'
C63	54.18'	364.52'	8°42'23"	S14°43'16"E	54.13'
C64	57.83'	364.52'	9°21'47"	S23°47'33"E	57.77'
C65	26.32'	364.52'	4°18'13"	S30°36'03"E	26.31'
C66	18.48'	11.00'	96°08'22"	S80°48'31"E	16.38'
C67	18.31'	11.00'	94°57'17"	S36°41'19"W	14.58'
C68	6.90'	475.00'	0°49'54"	S51°34'55"W	6.90'
C69	21.87'	11.00'	113°34'38"	N71°52'49"W	18.44'
C76	237.42'	620.00'	21°56'24"	S00°36'50"W	235.97'
C81	373.72'	350.00'	61°10'49"	N35°53'37"E	356.22'
C82	199.00'	699.25'	16°18'21"	N32°50'55"W	198.33'
C117	205.00'	450.00'	26°06'03"	N37°29'51"E	203.23'
C122	48.63'	450.00'	6°13'18"	N30°42'56"W	48.84'
C123	13.54'	450.00'	1°43'27"	N24°14'19"W	13.54'
C124	25.98'	450.00'	3°18'17"	N27°12'42"W	25.96'
C125	12.17'	450.00'	1°32'57"	N28°54'48"W	12.17'
C126	35.84'	234.50'	8°45'24"	N14°43'56"W	35.80'
C127	38.32'	234.50'	9°21'48"	N25°47'36"W	38.28'
C128	16.82'	234.50'	4°06'30"	N30°31'48"W	16.81'
C140	165.45'	404.52'	23°26'03"	S22°04'19"E	164.30'
C143	21.25'	460.11'	2°38'48"	S74°19'18"W	21.25'
C144	12.17'	460.11'	1°30'57"	S72°14'24"W	12.17'
C145	22.41'	540.17'	2°22'36"	S74°27'22"W	22.40'
C146	12.63'	540.17'	1°20'22"	S72°35'54"W	12.63'

PREPARED BY:
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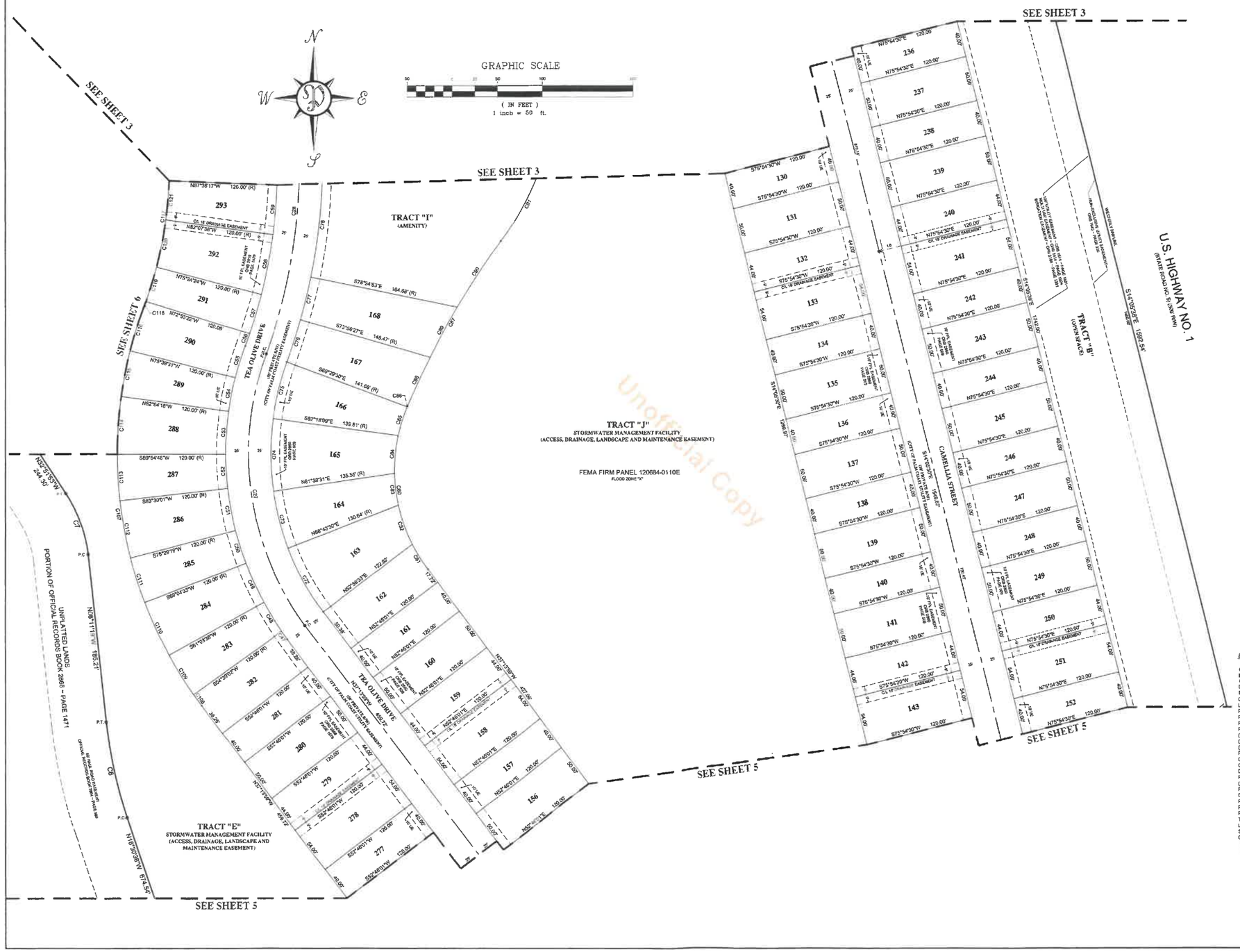
SOMERSET AT PALM COAST PARK PHASE 1

A PORTION OF SECTION 4, TOWNSHIP 11 SOUTH, RANGE 30 EAST, PALM COAST, FLAGLER COUNTY, FLORIDA.

PLAT BOOK 42 PAGE 33

SHEET 4 OF 6 SHEETS
(SEE SHEET 2 FOR GENERAL NOTES AND LEGEND)



LINE TABLE		
LINE #	LENGTH	DIRECTION
L6	25.00'	N75°54'30"E

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C6	107.53'	500.00'	12°19'18"	N12°23'58"W	107.32'
C7	71.52'	160.00'	25°36'48"	N20°02'29"W	71.00'
C27	314.56'	312.00'	57°47'00"	N08°23'29"W	301.46'
C28	320.94'	595.00'	30°54'18"	N05°00'52"E	317.06'
C47	11.08'	337.00'	1°53'01"	S36°17'29"E	11.08'
C48	37.70'	337.00'	6°24'37"	S32°08'40"E	37.68'
C49	47.14'	337.00'	8°00'54"	S24°52'54"E	47.10'
C50	37.72'	337.00'	6°24'47"	S17°43'04"E	37.70'
C51	47.12'	337.00'	8°00'42"	S10°36'33"E	47.08'
C52	37.72'	337.00'	6°24'47"	S03°17'56"E	37.70'
C53	47.14'	337.00'	8°00'54"	S03°55'15"W	47.10'
C54	37.72'	337.00'	6°24'47"	S11°05'05"W	37.70'
C55	36.52'	337.00'	6°12'32"	S17°29'45"W	36.50'
C56	14.44'	576.00'	1°27'09"	S19°49'28"W	14.44'
C57	44.82'	576.00'	4°30'20"	S16°53'46"W	44.81'
C58	66.86'	576.00'	6°43'13"	S11°13'52"W	66.82'
C59	54.49'	576.00'	5°26'40"	S05°08'02"W	54.47'
C72	79.94'	287.00'	15°57'29"	S29°15'14"E	79.68'
C73	64.79'	287.00'	12°56'00"	S14°48'29"E	64.66'
C74	80.34'	287.00'	16°02'20"	S00°19'18"E	80.08'
C75	64.38'	287.00'	12°51'10"	S14°07'26"W	64.26'
C76	48.50'	620.00'	4°29'27"	S18°18'17"W	48.49'
C77	48.41'	620.00'	4°28'26"	S13°49'25"W	48.40'
C78	237.42'	620.00'	21°56'34"	S06°36'55"W	235.97'
C80	188.79'	180.00'	60°06'41"	S07°11'08"E	180.26'
C81	32.46'	180.00'	10°19'51"	S32°04'04"E	32.41'
C82	45.91'	180.00'	14°31'10"	S19°30'33"E	45.79'
C83	35.06'	180.00'	11°09'41"	S05°49'07"E	35.01'
C84	41.97'	180.00'	13°21'38"	S06°27'31"W	41.88'
C85	32.94'	180.00'	10°29'00"	S17°22'54"W	32.90'
C86	0.75'	180.00'	0°14'34"	S22°44'35"W	0.75'
C87	209.21'	880.00'	13°37'17"	S29°40'21"W	208.72'
C88	56.50'	880.00'	3°52'26"	S24°47'55"W	56.49'
C89	62.78'	880.00'	4°05'11"	S28°48'44"W	62.75'
C90	86.95'	880.00'	5°39'40"	S33°31'10"W	86.91'
C91	373.72'	350.00'	61°16'45"	N05°53'37"E	356.22'
C107	460.89'	457.00'	57°47'00"	S09°20'29"E	441.60'
C108	15.02'	457.00'	1°53'01"	S36°17'29"E	15.02'
C109	51.13'	457.00'	6°24'37"	S32°08'40"E	51.10'
C110	53.93'	457.00'	6°00'54"	S24°52'54"E	53.88'
C111	51.15'	457.00'	6°24'47"	S17°43'04"E	51.12'
C112	53.93'	457.00'	6°00'42"	S10°36'33"E	53.88'
C113	51.15'	457.00'	6°24'47"	S03°17'56"E	51.12'
C114	53.93'	457.00'	6°00'54"	S03°55'15"W	53.88'
C115	51.15'	457.00'	6°24'47"	S11°05'05"W	51.12'
C116	49.52'	457.00'	6°12'32"	S17°29'45"W	49.50'
C117	205.00'	450.00'	26°06'03"	N07°29'58"E	203.23'
C118	7.23'	450.00'	0°55'16"	N20°06'23"E	7.23'
C119	39.56'	450.00'	5°02'10"	N17°08'41"E	39.54'
C120	52.78'	450.00'	6°43'13"	N11°13'55"E	52.75'
C121	43.02'	450.00'	5°28'40"	N05°08'02"E	43.01'

LEGEND

- ● DENOTES SET ½" REBAR STAMPED PRM L.B. 6715
- ■ DENOTES SET PERMANENT REFERENCE MONUMENT STAMPED L.B. 6715
- ● DENOTES SET PERMANENT CONTROL POINT STAMPED L.B. 6715
- ⊡ DENOTES FOUND PERMANENT REFERENCE MONUMENT NO I.D.
- ⊠ DENOTES FOUND PERMANENT REFERENCE MONUMENT 84914
- C1 DENOTES TABULATED CURVE DATA
- L1 DENOTES TABULATED LINE DATA
- P.C. DENOTES POINT OF CURVATURE
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- P.R.C. DENOTES POINT OF REVERSE CURVE
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- (R) DENOTES RADIAL LINE
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- C/L CENTERLINE
- CB CHORD BEARING
- D DELTA
- R_P RADIUS POINT
- (100.1) DENOTES DISTANCE TO EASEMENT
- FPL-E FLORIDA POWER AND LIGHT EASEMENT
- ORB OFFICIAL RECORDS BOOK
- POB POINT OF BEGINNING
- PRM PERMANENT REFERENCE MONUMENT
- PUDE PRIVATE UNOBSTRUCTED DRAINAGE EASEMENT
- TOB TOP OF BANK
- UDE UNOBSTRUCTED DRAINAGE EASEMENT
- SWMF STORMWATER MANAGEMENT FACILITY
- CUE COMMON UTILITY EASEMENT
- WETLANDS
- UPLAND BUFFER

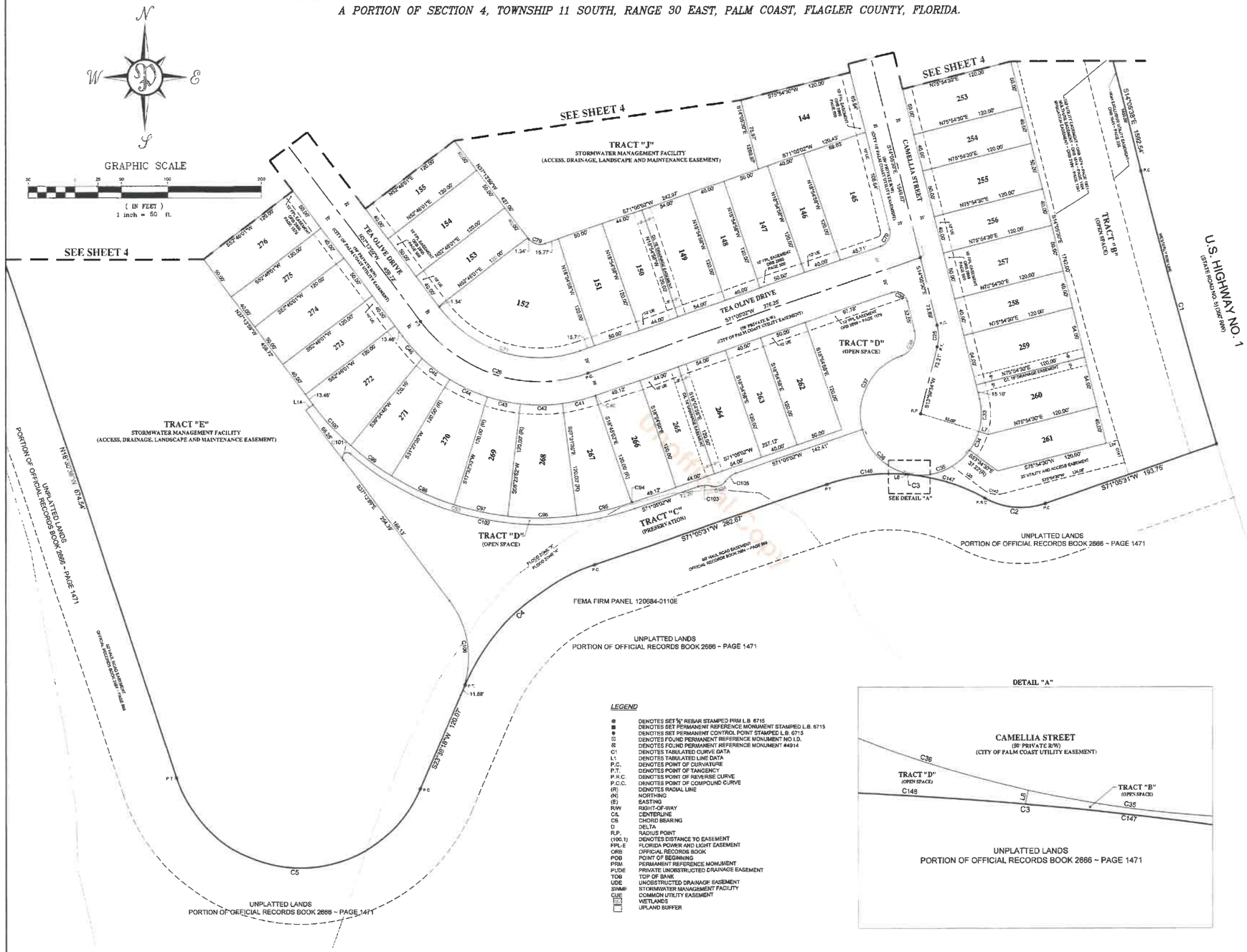
PREPARED BY:
PERRET AND ASSOCIATES, INC.
1484 MONTICELLO ROAD
JACKSONVILLE, FLORIDA 32207; PHONE (904) 805-0030
L.B. NO. 6715

SOMERSET AT PALM COAST PARK PHASE 1

A PORTION OF SECTION 4, TOWNSHIP 11 SOUTH, RANGE 30 EAST, PALM COAST, FLAGLER COUNTY, FLORIDA.

PLAT BOOK 42 PAGE 34

SHEET 5 OF 6 SHEETS
[SEE SHEET 2 FOR GENERAL NOTES AND LEGEND]



LINE TABLE		
LINE #	LENGTH	DIRECTION
L7	10.75'	S73°11'06"E
L8	0.75'	S12°30'23"W
L14	10.00'	S52°46'01"W
L24	12.64'	S75°54'30"W
L25	42.22'	S53°34'00"E

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C1	300.65'	5829.65'	2°57'16"	S15°37'06"E	300.62'
C2	66.77'	80.00'	47°48'17"	N84°36'34"W	64.85'
C3	175.27'	210.00'	47°48'16"	N84°36'02"W	170.23'
C4	194.64'	235.00'	47°27'18"	S47°21'55"W	189.12'
C5	338.63'	140.00'	137°50'55"	N87°26'13"W	261.27'
C25	23.04'	47.00'	28°09'03"	S00°32'56"E	22.81'
C26	206.18'	160.00'	71°40'59"	N73°04'28"W	193.37'
C33	36.08'	65.00'	30°54'01"	N01°21'21"E	34.63'
C34	22.28'	65.00'	19°37'09"	N28°36'56"E	22.18'
C35	74.97'	65.00'	66°04'53"	N69°27'55"E	70.88'
C36	71.14'	65.00'	62°42'19"	S46°26'31"E	67.64'
C37	67.68'	65.00'	66°04'38"	S28°11'07"W	63.73'
C38	32.79'	22.00'	85°22'05"	S28°36'03"W	29.83'
C39	21.51'	13.00'	94°46'28"	S61°36'14"E	19.14'
C40	0.93'	180.00'	0°09'53"	N71°11'00"E	0.93'
C41	36.24'	185.00'	11°13'27"	N76°51'41"E	36.18'
C42	44.56'	185.00'	13°53'28"	N69°26'08"E	44.45'
C43	35.98'	185.00'	11°08'40"	S78°01'47"E	35.93'
C44	44.94'	185.00'	13°53'03"	S65°26'58"E	44.83'
C45	36.97'	185.00'	11°26'59"	S52°46'54"E	36.91'
C46	31.83'	185.00'	9°51'26"	S42°06'42"E	31.79'
C70	22.50'	15.00'	85°10'32"	N28°29'46"E	20.50'
C71	168.90'	135.00'	71°40'59"	S73°04'28"E	158.10'
C79	18.77'	15.00'	71°40'59"	S73°04'28"E	17.57'
C93	381.59'	305.00'	71°40'59"	S73°04'28"E	357.18'
C94	0.88'	305.00'	0°09'53"	N71°11'00"E	0.88'
C95	59.79'	305.00'	11°13'27"	N76°51'41"E	59.65'
C96	74.12'	305.00'	13°55'28"	N69°26'08"E	73.94'
C97	59.32'	305.00'	11°08'40"	S78°01'47"E	59.23'
C98	74.09'	305.00'	13°53'03"	S65°26'58"E	73.90'
C99	54.67'	305.00'	10°16'13"	S53°24'17"E	54.60'
C100	58.73'	305.00'	11°02'12"	S42°14'05"E	58.66'
C101	14.66'	5.00'	167°58'11"	S48°14'06"W	9.94'
C102	324.65'	312.00'	59°37'10"	S73°06'23"E	310.20'
C103	14.64'	23.45'	35°46'43"	S58°57'54"W	14.47'
C104	17.12'	13.71'	71°31'27"	N71°05'02"E	16.03'
C105	14.64'	23.45'	35°46'43"	S22°12'51"W	14.40'
C106	109.24'	100.00'	62°52'18"	N38°47'51"W	101.31'
C141	25.03'	5829.65'	0°14'31"	S19°33'12"E	25.03'
C142	22.04'	25.00'	50°31'00"	S78°50'00"E	21.33'
C147	87.64'	210.00'	23°54'36"	N73°02'34"W	87.00'
C148	87.64'	210.00'	23°54'36"	S83°02'49"W	87.00'

LEGEND

⊕	DENOTES SET ⅝" REBAR STAMPED PRM L.B. 6715
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Δ	DELTA
R.P.	RADIUS POINT
(100.1)	DENOTES DISTANCE TO EASEMENT
FPL-E	FLORIDA POWER AND LIGHT EASEMENT
ORB	OFFICIAL RECORDS BOOK
POB	POINT OF BEGINNING
PRM	PERMANENT REFERENCE MONUMENT
PUDE	PRIVATE UNOBSTRUCTED DRAINAGE EASEMENT
TOB	TOP OF BANK
UDE	UNOBSTRUCTED DRAINAGE EASEMENT
SWMF	STORMWATER MANAGEMENT FACILITY
CUE	COMMON UTILITY EASEMENT
	WETLANDS
	UPLAND BUFFER

DETAIL "A"

PREPARED BY:
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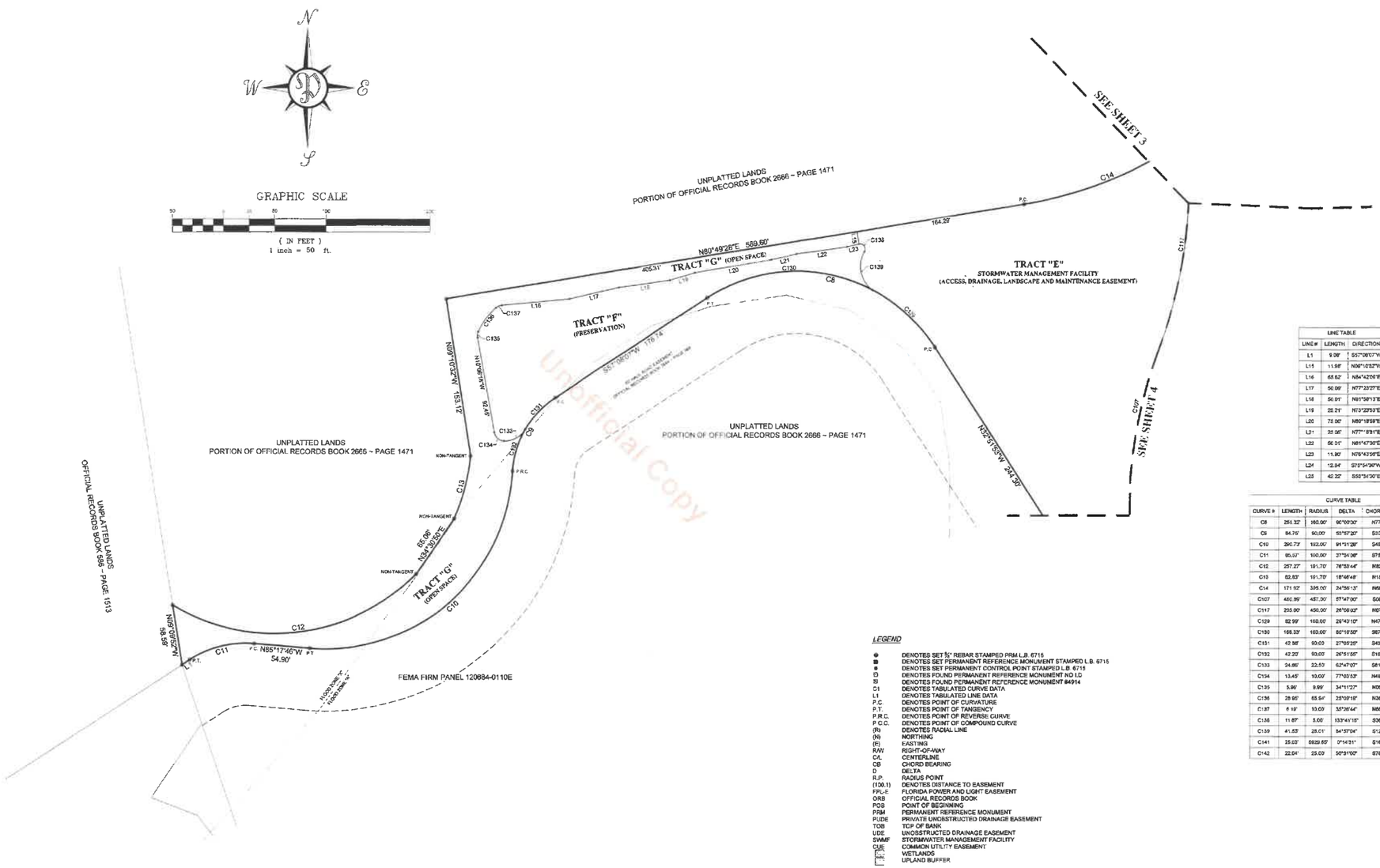
PLAT BOOK 42 PAGE 35

SHEET 6 OF 6 SHEETS
(SEE SHEET 2 FOR GENERAL NOTES AND LEGEND)



LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	9.09'	S57°06'07"W
L15	11.98'	N06°10'32"W
L16	65.62'	N84°42'06"E
L17	50.06'	N77°23'27"E
L18	50.01'	N81°56'13"E
L19	26.21'	N73°22'53"E
L20	78.06'	N80°18'59"E
L21	26.06'	N77°18'31"E
L22	50.01'	N81°47'30"E
L23	11.90'	N76°43'59"E
L24	12.94'	S70°54'30"W
L25	42.22'	S53°34'30"E

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C8	251.32'	160.00'	90°00'00"	N77°51'53"W	226.27'
C9	94.76'	90.00'	53°57'27"	S33°09'27"W	91.66'
C10	290.73'	192.00'	91°11'28"	S49°56'31"W	260.79'
C11	95.03'	100.00'	37°34'06"	S75°55'10"W	94.46'
C12	257.27'	191.70'	76°53'44"	N82°43'54"E	238.39'
C13	62.83'	191.70'	18°46'48"	N16°13'54"E	62.56'
C14	171.92'	395.00'	24°56'13"	N66°21'21"E	170.58'
C107	460.89'	457.00'	57°47'00"	S06°20'28"E	441.60
C117	205.00'	450.00'	26°06'02"	N07°28'59"E	203.23
C129	92.99'	160.00'	26°43'10"	N47°43'28"W	92.06'
C130	188.33'	160.00'	60°18'50"	S67°16'32"W	179.86'
C131	42.98'	90.00	27°05'25"	S43°35'24"W	42.18'
C132	42.22'	90.00	26°51'55"	S16°36'44"W	41.82'
C133	24.86'	22.50	62°47'07"	S61°28'18"W	23.44'
C134	13.45'	10.00'	77°03'53"	N48°38'18"W	12.46'
C135	5.96'	9.99'	34°11'27"	N06°03'28"E	5.87'
C136	28.90'	55.64'	29°02'19"	N36°37'46"E	28.72'
C137	6.18'	10.00	35°26'44"	N66°57'50"E	6.08'
C138	11.87'	3.00'	133°41'18"	S36°23'27"E	9.19'
C139	41.53'	28.01'	84°57'04"	S12°03'21"E	37.83'
C141	25.03'	5929.65'	0°14'31"	S16°53'12"E	25.03'
C142	22.04'	25.00	50°31'00"	S78°50'00"E	21.33'

LEGEND

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JACKSONVILLE, FLORIDA 32207; PHONE (904) 805-0030
L.B. NO. 6715

SECTION VI

FPL Account Number: **9593835342**

FPL Work Request Number: **13143056**

LED LIGHTING AGREEMENT

In accordance with the following terms and conditions, PALM COAST PARK CDD (hereinafter called the Customer), requests on this 23rd day of **October**, **2025** , from FLORIDA POWER & LIGHT COMPANY (hereinafter called FPL), a corporation organized and existing under the laws of the State of Florida, the following installation or modification of lighting facilities at (general boundaries) Sawmill Branch - Forestar- NC WR:13143056 Ph3, located in Palm Coast, Florida.

(a) Installation and/or removal of FPL-owned facilities described as follows:

Fixture Description (1)	Watts	Lumens	Color Temperature	# Installed	# Removed
Traditional W/Side Panels	39	3500	3K	44	

(1) Catalog of available fixtures and the assigned billing tier for each can be viewed at www.fpl.com/led

Pole Description	# Installed	# Removed
21' Black Tapered Concrete Pole	44	

(b) Installation and/or removal of FPL-owned additional lighting facilities where a cost estimate for these facilities will be determined based on the job scope, and the Additional Lighting Charges factor applied to determine the monthly rate.

(c) Modification to existing facilities other than described above or additional notes (explain fully): _____

That, for and in consideration of the covenants set forth herein, the parties hereto covenant and agree as follows:

FPL AGREES:

1. To install or modify the lighting facilities described and identified above (hereinafter called the Lighting System), furnish to the Customer the electric energy necessary for the operation of the Lighting System, and furnish such other services as are specified in this Agreement,all in accordance with the terms of FPL's currently effective lighting rate schedule on file at the Florida Public Service Commission (FPSC)or any successive lighting rate schedule approved by the FPSC.

THE CUSTOMER AGREES:

2. To pay a monthly fee for fixtures and poles in accordance to the Lighting tariff, and additional lighting charge in the amount of $1,570.73 These charges may be adjusted subject to review and approval by the FPSC.

3. To pay Contribution in Aid of Construction (CIAC) in the amount of $0.00 prior to FPL's initiating the requested installation or modification.

4. To pay the monthly maintenance and energy charges in accordance to the Lighting tariff. These charges may be adjusted subject to reviewand approval by the FPSC.

5. To purchase from FPL all the electric energy used for the operation of the Lighting System.

6. To be responsible for paying, when due, all bills rendered by FPL pursuant to FPL's currently effective lighting rate schedule on file at the FPSC or any successive lighting rate schedule approved by the FPSC, for facilities and service provided in accordance with this agreement.

7. To provide access, suitable construction drawings showing the location of existing and proposed structures, and appropriate plats necessaryfor planning the design and completing the construction of FPL facilities associated with the Lighting System.

8. To have sole responsibility to ensure lighting, poles, luminaires and fixtures are in compliance with any applicable municipal or county ordinances governing the size, wattage, lumens or general aesthetics.

9. For new FPL-owned lighting systems, to provide final grading to specifications, perform any clearing if needed, compacting, removal of stumps or other obstructions that conflict with construction, identification of all non-FPL underground facilities within or near pole or trench locations, drainage of rights-of-way or good and sufficient easements required by FPL to accommodate the lighting facilities.

10. For FPL-owned fixtures on customer-owned systems:
    a. To perform repairs or correct code violations on their existing lighting infrastructure. Notification to FPL is required once site is ready.
    b. To repair or replace their electrical infrastructure in order to provide service to the Lighting System for daily operations or in a catastrophic event.
    c. In the event the light is not operating correctly, Customer agrees to check voltage at the service point feeding the lighting circuit prior to submitting the request for FPL to repair the fixture.

IT IS MUTUALLY AGREED THAT:

11. Modifications to the facilities provided by FPL under this agreement, other than for maintenance, may only be made through the execution of an additional lighting agreement delineating the modifications to be accomplished. Modification of FPL lighting facilities isdefined as the following:

    a. the addition of lighting facilities:
    b. the removal of lighting facilities; and
    c. the removal of lighting facilities and the replacement of such facilities with new facilities and/or additional facilities.

    Modifications will be subject to the costs identified in FPL's currently effective lighting rate schedule on file at the FPSC, or any successive schedule approved by the FPSC.

12. FPL will, at the request of the Customer, relocate the lighting facilities covered by this agreement, if provided sufficient rights-of-way or easements to do so and locations requested are consistent with clear zone right-of-way setback requirements. The Customer shall be responsible for the payment of all costs associated with any such Customer- requested relocation of FPL lighting facilities. Paymentshall be made by the Customer in advance of any relocation.
    Lighting facilities will only be installed in locations that meet all applicable clear zone right-of-way setback requirements.

13. FPL may, at any time, substitute for any fixture installed hereunder another equivalent fixture which shall be of similar illuminating capacity and efficiency.

14. This Agreement shall be for a term of ten (10) years from the date of initiation of service, and, except as provided below, shall extend thereafter for further successive periods of five (5) years from the expiration of the initial ten (10) year term or from the expiration of any extension thereof. The date of initiation of service shall be defined as the date the first lights are energized and billing begins, not the date of this Agreement. This Agreement shall be extended automatically beyond the initial ten (10) year term or any extension thereof, unless either party shall have given written notice to the other of its desire to terminate this Agreement. The written notice shall be by certified mail and shall be given not less than ninety (90) days before the expiration of the initial ten (10) year term, or any extension thereof.

15. In the event lighting facilities covered by this agreement are removed, either at the request of the Customer or through termination or breach of this Agreement, the Customer shall be responsible for paying to FPL an amount equal to the original installed cost of the facilities provided by FPL under this agreement less any salvage value and any depreciation (based on current depreciation rates approved by the FPSC) plus removal cost.

16. Should the Customer fail to pay any bills due and rendered pursuant to this agreement or otherwise fail to perform the obligations contained in this Agreement, said obligations being material and going to the essence of this Agreement, FPL may cease to supply electric energy or service until the Customer has paid the bills due and rendered or has fully cured such other breach of this Agreement. Any failure of FPL to exercise its rights hereunder shall not be a waiver of its rights. It is understood, however, that such discontinuance of the supplying of electric energy or service shall not constitute a breach of this Agreement by FPL, nor shall it relieve the Customer of the obligation to perform any of the terms and conditions of this Agreement.

17. The obligation to furnish or purchase service shall be excused at any time that either party is prevented from complying with this Agreement by strikes, lockouts, fires, riots, acts of God, the public enemy, or by cause or causes not under the control of the party thus prevented from compliance, and FPL shall not have the obligation to furnish service if it is prevented from complying with this Agreementby reason of any partial, temporary or entire shut-down of service which, in the sole opinion of FPL, is reasonably necessary for the purpose of repairing or making more efficient all or any part of its generating or other electrical equipment.

18. This **Agreement supersedes all previous Agreements** or representations, either written, oral, or otherwise between the Customer andFPL, with respect to the facilities referenced herein and constitutes the entire Agreement between the parties. This Agreement does not create any rights or provide any remedies to third parties or create any additional duty, obligation or undertakings by FPL to third parties.

19. In the event of the sale of the real property upon which the facilities are installed, upon the written consent of FPL, this Agreement may be assigned by the Customer to the Purchaser. No assignment shall relieve the Customer from its obligations hereunder until such obligations have been assumed by the assignee and agreed to by FPL.

20. This Agreement shall inure to the benefit of and be binding upon the successors and assigns of the Customer and FPL.

21. The lighting facilities shall remain the property of FPL in perpetuity.

22. This Agreement is subject to FPL's Electric Tariff, including, but not limited to, the General Rules and Regulations for Electric Service andthe Rules of the FPSC, as they are now written, or as they may be hereafter revised, amended or supplemented. In the event of any conflict between the terms of this Agreement and the provisions of the FPL Electric Tariff or the FPSC Rules, the provisions of the Electric Tariff and FPSC Rules shall control, as they are now written, or as they may be hereafter revised, amended or supplemented.

IN WITNESS WHEREOF, the parties hereby caused this Agreement to be executed in triplicate by their duly authorized representativesto be effective as of the day and year first written above.

Charges and Terms Accepted:

PALM COAST PARK CDD

Customer (Print or type name of Organization)

By: _____
Signature (Authorized Representative)

_____
(Print or type name)

Title: _____

FLORIDA POWER & LIGHT COMPANY

By: Chris Venoy
(Signature)

Chris Venoy
(Print or type name)

Title: FPL LT-1 Representative

SECTION VII

SECTION B

SECTION 1

Palm Coast Park CDD Landscape Maintenance Log
Yellowstone Landscape
Sept. - Oct. 2025

9/1/2025	Mowing Service
9/2/2025	Mowing Service
10/1/2025	Mowing Service
10/2/2025	Mowing Service
9/12/2025	Trash removal
10/21/2025	Trash removal
9/12/2025	Edging & weed control
10/23/2025	Edging & weed control
9/4/2025	Site Inspection W/ Clint Smith
9/9/2025	Site Inspection W/ Clint Smith
9/18/2025	Site Inspection W/ Clint Smith
10/9/2025	Site Inspection W/ Clint Smith
10/30/2025	Site Inspection W/ Clint Smith
9/8/2025	Bridges Blown Off
9/15/2025	Bridges Blown Off
9/22/2025	Bridges Blown Off
10/2/2025	Bridges Blown Off
10/9/2025	Bridges Blown Off
10/16/2025	Bridges Blown Off
10/20/2025	Bridges Blown Off
10/27/2025	Bridges Blown Off

SECTION 2

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00853594	Account	Freedom at Sawmill at Palm Coast Park CDD
Work Order Number	00853594	Contact	Clint Smith
		Address	7900 Old Kings Road North Palm Coast, FL 32137 United States
Created Date	8/28/2025		

Work Details

Specialist Comments to Customer	Good morning today I spot treated your ponds for shoreline grasses and dollar weed.I will be back next month to treat your ponds again.Thank you and have a great rest of your day your spray tech william.	Prepared By	William McTizic

Work Order Assets

Asset	Status	Product Work Type
Freedom at Sawmill Pond 8	Inspected	
Freedom at Sawmill Pond 3	Inspected	
Freedom at Sawmill Pond 4	Inspected	
Freedom at Sawmill Pond 5	Inspected	
Freedom at Sawmill Pond 6	Inspected	
Freedom at Sawmill Pond 7	Inspected	
Freedom at Sawmill Pond 1	Inspected	
Freedom at Sawmill Pond 2	Inspected	

Service Parameters

Asset	Product Work Type	Specialist Comments to Customer
Freedom at Sawmill Pond 8	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Freedom at Sawmill Pond 8	SHORELINE WEED CONTROL	
Freedom at Sawmill Pond 8	MONITORING	
Freedom at Sawmill Pond 8	LAKE WEED CONTROL	
Freedom at Sawmill Pond 8	ALGAE CONTROL	
Freedom at Sawmill Pond 6	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Freedom at Sawmill Pond 6	SHORELINE WEED CONTROL	
Freedom at Sawmill Pond 6	MONITORING	
Freedom at Sawmill Pond 6	LAKE WEED CONTROL	
Freedom at Sawmill Pond 6	ALGAE CONTROL	
Freedom at Sawmill Pond 5	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Freedom at Sawmill Pond 5	SHORELINE WEED CONTROL	
Freedom at Sawmill Pond 5	MONITORING	
Freedom at Sawmill Pond 5	LAKE WEED CONTROL	

Service Report

SOLITUDE
LAKE MANAGEMENT

Work Order	00853594	Account	Freedom at Sawmill at Palm Coast Park CDD
Work Order Number	00853594	Contact	Clint Smith
		Address	7900 Old Kings Road North Palm Coast, FL 32137 United States
Created Date	8/28/2025		

Freedom at Sawmill Pond 5	ALGAE CONTROL	
Freedom at Sawmill Pond 4	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Freedom at Sawmill Pond 4	SHORELINE WEED CONTROL	
Freedom at Sawmill Pond 4	MONITORING	
Freedom at Sawmill Pond 4	LAKE WEED CONTROL	
Freedom at Sawmill Pond 4	ALGAE CONTROL	
Freedom at Sawmill Pond 3	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Freedom at Sawmill Pond 3	SHORELINE WEED CONTROL	
Freedom at Sawmill Pond 3	MONITORING	
Freedom at Sawmill Pond 3	LAKE WEED CONTROL	
Freedom at Sawmill Pond 3	ALGAE CONTROL	
Freedom at Sawmill Pond 2	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Freedom at Sawmill Pond 2	SHORELINE WEED CONTROL	
Freedom at Sawmill Pond 2	MONITORING	
Freedom at Sawmill Pond 2	LAKE WEED CONTROL	
Freedom at Sawmill Pond 2	ALGAE CONTROL	
Freedom at Sawmill Pond 1	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Freedom at Sawmill Pond 1	SHORELINE WEED CONTROL	
Freedom at Sawmill Pond 1	MONITORING	
Freedom at Sawmill Pond 1	LAKE WEED CONTROL	
Freedom at Sawmill Pond 1	ALGAE CONTROL	
Freedom at Sawmill Pond 7	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Freedom at Sawmill Pond 7	SHORELINE WEED CONTROL	
Freedom at Sawmill Pond 7	MONITORING	
Freedom at Sawmill Pond 7	LAKE WEED CONTROL	
Freedom at Sawmill Pond 7	ALGAE CONTROL	
Freedom at Sawmill Pond 2		
Freedom at Sawmill Pond 1		
Freedom at Sawmill Pond 7		
Freedom at Sawmill Pond 6		
Freedom at Sawmill Pond 5		
Freedom at Sawmill Pond 4		
Freedom at Sawmill Pond 3		
Freedom at Sawmill Pond 8		

Service Report

SOLITUDE
LAKE MANAGEMENT

Work Order	00853594	Account	Freedom at Sawmill at Palm Coast Park CDD
Work Order Number	00853594	Contact	Clint Smith
		Address	7900 Old Kings Road North Palm Coast, FL 32137 United States
Created Date	8/28/2025		

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00865393	Account	Freedom at Sawmill at Palm Coast Park CDD
Work Order Number	00865393	Contact	Clint Smith
		Address	7900 Old Kings Road North Palm Coast, FL 32137 United States
Created Date	9/6/2025		

Work Details

Specialist Comments to Customer	Good morning today I spot treated your ponds for shoreline grasses as well as dollar weed.I also removed trash debris.I will be back next month to treat your ponds again.Thank you and have a great rest of your day your spray tech william	Prepared By	William McTizic

Work Order Assets

Asset	Status	Product Work Type
Freedom at Sawmill Pond 5	Inspected	
Freedom at Sawmill Pond 4	Inspected	
Freedom at Sawmill Pond 8	Inspected	
Freedom at Sawmill Pond 6	Inspected	
Freedom at Sawmill Pond 1	Inspected	
Freedom at Sawmill Pond 7	Inspected	
Freedom at Sawmill Pond 3	Inspected	
Freedom at Sawmill Pond 2	Inspected	

Service Parameters

Asset	Product Work Type	Specialist Comments to Customer
Freedom at Sawmill Pond 8	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Freedom at Sawmill Pond 8	SHORELINE WEED CONTROL	
Freedom at Sawmill Pond 8	MONITORING	
Freedom at Sawmill Pond 8	LAKE WEED CONTROL	
Freedom at Sawmill Pond 8	ALGAE CONTROL	
Freedom at Sawmill Pond 6	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Freedom at Sawmill Pond 6	SHORELINE WEED CONTROL	
Freedom at Sawmill Pond 6	MONITORING	
Freedom at Sawmill Pond 6	LAKE WEED CONTROL	
Freedom at Sawmill Pond 6	ALGAE CONTROL	
Freedom at Sawmill Pond 5	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Freedom at Sawmill Pond 5	SHORELINE WEED CONTROL	
Freedom at Sawmill Pond 5	MONITORING	
Freedom at Sawmill Pond 5	LAKE WEED CONTROL	

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00865393	Account	Freedom at Sawmill at Palm Coast Park CDD
Work Order Number	00865393	Contact	Clint Smith
		Address	7900 Old Kings Road North Palm Coast, FL 32137 United States
Created Date	9/6/2025		

Freedom at Sawmill Pond 5	ALGAE CONTROL	
Freedom at Sawmill Pond 4	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Freedom at Sawmill Pond 4	SHORELINE WEED CONTROL	
Freedom at Sawmill Pond 4	MONITORING	
Freedom at Sawmill Pond 4	LAKE WEED CONTROL	
Freedom at Sawmill Pond 4	ALGAE CONTROL	
Freedom at Sawmill Pond 3	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Freedom at Sawmill Pond 3	SHORELINE WEED CONTROL	
Freedom at Sawmill Pond 3	MONITORING	
Freedom at Sawmill Pond 3	LAKE WEED CONTROL	
Freedom at Sawmill Pond 3	ALGAE CONTROL	
Freedom at Sawmill Pond 2	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Freedom at Sawmill Pond 2	SHORELINE WEED CONTROL	
Freedom at Sawmill Pond 2	MONITORING	
Freedom at Sawmill Pond 2	LAKE WEED CONTROL	
Freedom at Sawmill Pond 2	ALGAE CONTROL	
Freedom at Sawmill Pond 1	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Freedom at Sawmill Pond 1	SHORELINE WEED CONTROL	
Freedom at Sawmill Pond 1	MONITORING	
Freedom at Sawmill Pond 1	LAKE WEED CONTROL	
Freedom at Sawmill Pond 1	ALGAE CONTROL	
Freedom at Sawmill Pond 7	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Freedom at Sawmill Pond 7	SHORELINE WEED CONTROL	
Freedom at Sawmill Pond 7	MONITORING	
Freedom at Sawmill Pond 7	LAKE WEED CONTROL	
Freedom at Sawmill Pond 7	ALGAE CONTROL	
Freedom at Sawmill Pond 2		
Freedom at Sawmill Pond 3		
Freedom at Sawmill Pond 7		
Freedom at Sawmill Pond 1		
Freedom at Sawmill Pond 6		
Freedom at Sawmill Pond 8		
Freedom at Sawmill Pond 4		
Freedom at Sawmill Pond 5		

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00865393
Work Order Number	00865393
Created Date	9/6/2025

Account	Freedom at Sawmill at Palm Coast Park CDD
Contact	Clint Smith
Address	7900 Old Kings Road North Palm Coast, FL 32137 United States

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00891847	Account	Freedom at Sawmill at Palm Coast Park CDD
Work Order Number	00891847	Contact	Clint Smith
		Address	7900 Old Kings Road North Palm Coast, FL 32137 United States
Created Date	10/4/2025		

Work Details

Specialist Comments to Customer	Good morning today I treated spot treated your ponds for grasses and dollar weed due to heavy wind and rain.I also removed trash debris.I will be back next month to treat your ponds again.Thank you and have a great rest of your day your spray tech william	Prepared By	William McTizic

Work Order Assets

Asset	Status	Product Work Type
Freedom at Sawmill Pond 2	Inspected	
Freedom at Sawmill Pond 3	Inspected	
Freedom at Sawmill Pond 4	Inspected	
Freedom at Sawmill Pond 5	Inspected	
Freedom at Sawmill Pond 6	Inspected	
Freedom at Sawmill Pond 8	Inspected	
Freedom at Sawmill Pond 7	Inspected	
Freedom at Sawmill Pond 1	Inspected	

Service Parameters

Asset	Product Work Type	Specialist Comments to Customer
Freedom at Sawmill Pond 8	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Freedom at Sawmill Pond 6	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Freedom at Sawmill Pond 5	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Freedom at Sawmill Pond 4	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Freedom at Sawmill Pond 3	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Freedom at Sawmill Pond 2	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Freedom at Sawmill Pond 1	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Freedom at Sawmill Pond 7	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Freedom at Sawmill Pond 8	SHORELINE WEED CONTROL	
Freedom at Sawmill Pond 8	MONITORING	
Freedom at Sawmill Pond 8	LAKE WEED CONTROL	
Freedom at Sawmill Pond 8	ALGAE CONTROL	
Freedom at Sawmill Pond 6	SHORELINE WEED CONTROL	
Freedom at Sawmill Pond 6	MONITORING	

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00891847	Account	Freedom at Sawmill at Palm Coast Park CDD
Work Order Number	00891847	Contact	Clint Smith
		Address	7900 Old Kings Road North Palm Coast, FL 32137 United States
Created Date	10/4/2025		

Freedom at Sawmill Pond 6	LAKE WEED CONTROL	
Freedom at Sawmill Pond 6	ALGAE CONTROL	
Freedom at Sawmill Pond 5	SHORELINE WEED CONTROL	
Freedom at Sawmill Pond 5	MONITORING	
Freedom at Sawmill Pond 5	LAKE WEED CONTROL	
Freedom at Sawmill Pond 5	ALGAE CONTROL	
Freedom at Sawmill Pond 4	SHORELINE WEED CONTROL	
Freedom at Sawmill Pond 4	MONITORING	
Freedom at Sawmill Pond 4	LAKE WEED CONTROL	
Freedom at Sawmill Pond 4	ALGAE CONTROL	
Freedom at Sawmill Pond 3	SHORELINE WEED CONTROL	
Freedom at Sawmill Pond 3	MONITORING	
Freedom at Sawmill Pond 3	LAKE WEED CONTROL	
Freedom at Sawmill Pond 3	ALGAE CONTROL	
Freedom at Sawmill Pond 2	SHORELINE WEED CONTROL	
Freedom at Sawmill Pond 2	MONITORING	
Freedom at Sawmill Pond 2	LAKE WEED CONTROL	
Freedom at Sawmill Pond 2	ALGAE CONTROL	
Freedom at Sawmill Pond 1	SHORELINE WEED CONTROL	
Freedom at Sawmill Pond 1	MONITORING	
Freedom at Sawmill Pond 1	LAKE WEED CONTROL	
Freedom at Sawmill Pond 1	ALGAE CONTROL	
Freedom at Sawmill Pond 7	SHORELINE WEED CONTROL	
Freedom at Sawmill Pond 7	MONITORING	
Freedom at Sawmill Pond 7	LAKE WEED CONTROL	
Freedom at Sawmill Pond 7	ALGAE CONTROL	
Freedom at Sawmill Pond 1		
Freedom at Sawmill Pond 7		
Freedom at Sawmill Pond 8		
Freedom at Sawmill Pond 6		
Freedom at Sawmill Pond 5		
Freedom at Sawmill Pond 4		
Freedom at Sawmill Pond 3		
Freedom at Sawmill Pond 2		

Service Report

SOLITUDE
LAKE MANAGEMENT

Work Order	00891847	Account	Freedom at Sawmill at Palm Coast Park CDD
Work Order Number	00891847	Contact	Clint Smith
		Address	7900 Old Kings Road North Palm Coast, FL 32137 United States
Created Date	10/4/2025		

SECTION 3

Service Report

SOLITUDE LAKE MANAGEMENT

		Account	Reverie at Palm Coast Park CDD
Work Order	00848752	Contact	Clint Smith
Work Order Number	00848752	Address	Wellfield Grade and U.S. 1 Palm Coast, FL 32137 United States
Created Date	8/29/2025		

Work Details

Specialist Comments to Customer	Good morning today I treated your ponds for algae as well as submersed aquatics.I also removed trash debris.Overall your ponds are in great condition at this time.I will be back next month to treat your ponds again.Thank you and have a great rest of your day your spray tech william.	Prepared By	William McTizic

Work Order Assets

Asset	Status	Product Work Type
Reverie at Palm Coast Park Pond 10	Inspected	
Reverie at Palm Coast Park Lake 1	Inspected	
Reverie at Palm Coast Park Pond 11	Inspected	

Service Parameters

Asset	Product Work Type	Specialist Comments to Customer
Reverie at Palm Coast Park Pond 10	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 10	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 10	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 10	MONITORING	
Reverie at Palm Coast Park Pond 11	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 11	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 11	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 11	MONITORING	
Reverie at Palm Coast Park Lake 1	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Lake 1	LAKE WEED CONTROL	
Reverie at Palm Coast Park Lake 1	ALGAE CONTROL	
Reverie at Palm Coast Park Lake 1	MONITORING	
Reverie at Palm Coast Park Pond 11		
Reverie at Palm Coast Park Lake 1		
Reverie at Palm Coast Park Pond 10		

Service Report

SOLITUDE LAKE MANAGEMENT

		Account	Reverie at Palm Coast Park CDD
Work Order	00877354	Contact	Clint Smith
Work Order Number	00877354	Address	Wellfield Grade and U.S. 1 Palm Coast, FL 32137 United States
Created Date	9/6/2025		

Work Details

Specialist Comments to Customer	Good afternoon today I inspected your ponds as well as removed trash debris.Overall your ponds are in great condition at this time.I will be back next month to treat your ponds again.Thank you and have a great rest of your day your spray tech william.	Prepared By	William McTizic

Work Order Assets

Asset	Status	Product Work Type
Reverie at Palm Coast Park Pond 10	Inspected	
Reverie at Palm Coast Park Lake 1	Inspected	
Reverie at Palm Coast Park Pond 11	Inspected	

Service Parameters

Asset	Product Work Type	Specialist Comments to Customer
Reverie at Palm Coast Park Pond 10	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 10	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 10	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 10	MONITORING	
Reverie at Palm Coast Park Pond 11	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 11	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 11	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 11	MONITORING	
Reverie at Palm Coast Park Lake 1	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Lake 1	LAKE WEED CONTROL	
Reverie at Palm Coast Park Lake 1	ALGAE CONTROL	
Reverie at Palm Coast Park Lake 1	MONITORING	
Reverie at Palm Coast Park Pond 11		
Reverie at Palm Coast Park Lake 1		
Reverie at Palm Coast Park Pond 10		

Service Report

SOLITUDE LAKE MANAGEMENT

		Account	Reverie at Palm Coast Park CDD
Work Order	00877741	Contact	Clint Smith
Work Order Number	00877741	Address	Wellfield Grade and U.S. 1 Palm Coast, FL 32137 United States
Created Date	9/6/2025		

Work Details

Specialist Comments to Customer	Good morning today I spot treated your ponds as well as removed trash debris.Overall your ponds are in great condition at this time.I will be back at the end of this month to treat your ponds again.Thank you and have a great rest of your day your spray tech william.	Prepared By	William McTizic

Work Order Assets

Asset	Status	Product Work Type
Reverie at Palm Coast Park Pond 5B	Inspected	
Reverie at Palm Coast Park Pond 5	Inspected	
Reverie at Palm Coast Park Pond 9	Inspected	
Reverie at Palm Coast Park Pond 4	Inspected	
Reverie at Palm Coast Park Pond 3	Inspected	
Reverie at Palm Coast Park Pond 2	Inspected	
Reverie at Palm Coast Park Pond 7	Inspected	
Reverie at Palm Coast Park Pond 8	Inspected	
Reverie at Palm Coast Park Pond 5A	Inspected	
Reverie at Palm Coast Park Pond 6	Inspected	

Service Parameters

Asset	Product Work Type	Specialist Comments to Customer
Reverie at Palm Coast Park Pond 9	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 9	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 9	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 9	MONITORING	
Reverie at Palm Coast Park Pond 8	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 8	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 8	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 8	MONITORING	
Reverie at Palm Coast Park Pond 7	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 7	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 7	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 7	MONITORING	

Service Report

SOLITUDE LAKE MANAGEMENT

		Account	Reverie at Palm Coast Park CDD
Work Order	00877741	Contact	Clint Smith
Work Order Number	00877741	Address	Wellfield Grade and U.S. 1 Palm Coast, FL 32137 United States
Created Date	9/6/2025		

Reverie at Palm Coast Park Pond 5B	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 5B	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 5B	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 5B	MONITORING	
Reverie at Palm Coast Park Pond 6	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 6	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 6	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 6	MONITORING	
Reverie at Palm Coast Park Pond 5A	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 5A	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 5A	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 5A	MONITORING	
Reverie at Palm Coast Park Pond 5	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 5	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 5	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 5	MONITORING	
Reverie at Palm Coast Park Pond 4	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 4	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 4	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 4	MONITORING	
Reverie at Palm Coast Park Pond 3	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 3	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 3	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 3	MONITORING	
Reverie at Palm Coast Park Pond 2	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 2	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 2	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 2	MONITORING	
Reverie at Palm Coast Park Pond 6		
Reverie at Palm Coast Park Pond 5A		
Reverie at Palm Coast Park Pond 8		
Reverie at Palm Coast Park Pond 7		
Reverie at Palm Coast Park Pond 2		
Reverie at Palm Coast Park Pond 3		

Service Report

SOLITUDE
LAKE MANAGEMENT

		Account	Reverie at Palm Coast Park CDD
Work Order	00877741	Contact	Clint Smith
Work Order Number	00877741	Address	Wellfield Grade and U.S. 1 Palm Coast, FL 32137 United States
Created Date	9/6/2025		

Reverie at Palm Coast Park Pond 4		
Reverie at Palm Coast Park Pond 9		
Reverie at Palm Coast Park Pond 5		
Reverie at Palm Coast Park Pond 5B		

Service Report

SOLITUDE LAKE MANAGEMENT

		Account	Reverie at Palm Coast Park CDD
Work Order	00877354	Contact	Clint Smith
Work Order Number	00877354	Address	Wellfield Grade and U.S. 1 Palm Coast, FL 32137 United States
Created Date	9/6/2025		

Work Details

Specialist Comments to Customer	Good afternoon today I inspected your ponds as well as removed trash debris.Overall your ponds are in great condition at this time.I will be back next month to treat your ponds again.Thank you and have a great rest of your day your spray tech william.	Prepared By	William McTizic

Work Order Assets

Asset	Status	Product Work Type
Reverie at Palm Coast Park Pond 10	Inspected	
Reverie at Palm Coast Park Lake 1	Inspected	
Reverie at Palm Coast Park Pond 11	Inspected	

Service Parameters

Asset	Product Work Type	Specialist Comments to Customer
Reverie at Palm Coast Park Pond 10	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 10	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 10	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 10	MONITORING	
Reverie at Palm Coast Park Pond 11	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 11	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 11	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 11	MONITORING	
Reverie at Palm Coast Park Lake 1	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Lake 1	LAKE WEED CONTROL	
Reverie at Palm Coast Park Lake 1	ALGAE CONTROL	
Reverie at Palm Coast Park Lake 1	MONITORING	
Reverie at Palm Coast Park Pond 11		
Reverie at Palm Coast Park Lake 1		
Reverie at Palm Coast Park Pond 10		

Service Report

SOLITUDE LAKE MANAGEMENT

		Account	Reverie at Palm Coast Park CDD
Work Order	00877741	Contact	Clint Smith
Work Order Number	00877741	Address	Wellfield Grade and U.S. 1 Palm Coast, FL 32137 United States
Created Date	9/6/2025		

Work Details

Specialist Comments to Customer	Good morning today I spot treated your ponds as well as removed trash debris.Overall your ponds are in great condition at this time.I will be back at the end of this month to treat your ponds again.Thank you and have a great rest of your day your spray tech william.	Prepared By	William McTizic

Work Order Assets

Asset	Status	Product Work Type
Reverie at Palm Coast Park Pond 5B	Inspected	
Reverie at Palm Coast Park Pond 5	Inspected	
Reverie at Palm Coast Park Pond 9	Inspected	
Reverie at Palm Coast Park Pond 4	Inspected	
Reverie at Palm Coast Park Pond 3	Inspected	
Reverie at Palm Coast Park Pond 2	Inspected	
Reverie at Palm Coast Park Pond 7	Inspected	
Reverie at Palm Coast Park Pond 8	Inspected	
Reverie at Palm Coast Park Pond 5A	Inspected	
Reverie at Palm Coast Park Pond 6	Inspected	

Service Parameters

Asset	Product Work Type	Specialist Comments to Customer
Reverie at Palm Coast Park Pond 9	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 9	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 9	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 9	MONITORING	
Reverie at Palm Coast Park Pond 8	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 8	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 8	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 8	MONITORING	
Reverie at Palm Coast Park Pond 7	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 7	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 7	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 7	MONITORING	

Service Report

SOLITUDE LAKE MANAGEMENT

		Account	Reverie at Palm Coast Park CDD
Work Order	00877741	Contact	Clint Smith
Work Order Number	00877741	Address	Wellfield Grade and U.S. 1 Palm Coast, FL 32137 United States
Created Date	9/6/2025		

Reverie at Palm Coast Park Pond 5B	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 5B	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 5B	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 5B	MONITORING	
Reverie at Palm Coast Park Pond 6	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 6	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 6	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 6	MONITORING	
Reverie at Palm Coast Park Pond 5A	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 5A	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 5A	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 5A	MONITORING	
Reverie at Palm Coast Park Pond 5	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 5	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 5	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 5	MONITORING	
Reverie at Palm Coast Park Pond 4	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 4	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 4	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 4	MONITORING	
Reverie at Palm Coast Park Pond 3	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 3	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 3	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 3	MONITORING	
Reverie at Palm Coast Park Pond 2	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 2	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 2	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 2	MONITORING	
Reverie at Palm Coast Park Pond 6		
Reverie at Palm Coast Park Pond 5A		
Reverie at Palm Coast Park Pond 8		
Reverie at Palm Coast Park Pond 7		
Reverie at Palm Coast Park Pond 2		
Reverie at Palm Coast Park Pond 3		

Service Report

SOLITUDE LAKE MANAGEMENT

		Account	Reverie at Palm Coast Park CDD
Work Order	00877741	Contact	Clint Smith
Work Order Number	00877741	Address	Wellfield Grade and U.S. 1 Palm Coast, FL 32137 United States
Created Date	9/6/2025		

Reverie at Palm Coast Park Pond 4		
Reverie at Palm Coast Park Pond 9		
Reverie at Palm Coast Park Pond 5		
Reverie at Palm Coast Park Pond 5B		

Service Report

SOLITUDE LAKE MANAGEMENT

		Account	Reverie at Palm Coast Park CDD
Work Order	00879977	Contact	Clint Smith
Work Order Number	00879977	Address	Wellfield Grade and U.S. 1 Palm Coast, FL 32137 United States
Created Date	10/4/2025		

Work Details

Specialist Comments to Customer	Good afternoon today I spot treated your ponds for shoreline grasses due to wind and rain.I also removed trash debris from your ponds.Overall your ponds are in great condition at this time.I will be back at the end of this month to treat your ponds again.Thank you and have a great rest of your day your spray tech william.	Prepared By	William McTizic

Work Order Assets

Asset	Status	Product Work Type
Reverie at Palm Coast Park Pond 5A	Inspected	
Reverie at Palm Coast Park Pond 6	Inspected	
Reverie at Palm Coast Park Pond 5B	Inspected	
Reverie at Palm Coast Park Pond 5	Inspected	
Reverie at Palm Coast Park Pond 9	Inspected	
Reverie at Palm Coast Park Pond 4	Inspected	
Reverie at Palm Coast Park Pond 3	Inspected	
Reverie at Palm Coast Park Pond 2	Inspected	
Reverie at Palm Coast Park Pond 7	Inspected	
Reverie at Palm Coast Park Pond 8	Inspected	

Service Parameters

Asset	Product Work Type	Specialist Comments to Customer
Reverie at Palm Coast Park Pond 9	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 9	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 9	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 9	MONITORING	
Reverie at Palm Coast Park Pond 8	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 8	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 8	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 8	MONITORING	
Reverie at Palm Coast Park Pond 7	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 7	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 7	ALGAE CONTROL	

Service Report

SOLITUDE LAKE MANAGEMENT

		Account	Reverie at Palm Coast Park CDD
Work Order	00879977	Contact	Clint Smith
Work Order Number	00879977	Address	Wellfield Grade and U.S. 1 Palm Coast, FL 32137 United States
Created Date	10/4/2025		

Reverie at Palm Coast Park Pond 7	MONITORING	
Reverie at Palm Coast Park Pond 5B	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 5B	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 5B	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 5B	MONITORING	
Reverie at Palm Coast Park Pond 6	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 6	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 6	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 6	MONITORING	
Reverie at Palm Coast Park Pond 5A	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 5A	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 5A	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 5A	MONITORING	
Reverie at Palm Coast Park Pond 5	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 5	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 5	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 5	MONITORING	
Reverie at Palm Coast Park Pond 4	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 4	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 4	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 4	MONITORING	
Reverie at Palm Coast Park Pond 3	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 3	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 3	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 3	MONITORING	
Reverie at Palm Coast Park Pond 2	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 2	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 2	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 2	MONITORING	
Reverie at Palm Coast Park Pond 8		
Reverie at Palm Coast Park Pond 7		
Reverie at Palm Coast Park Pond 2		
Reverie at Palm Coast Park Pond 3		
Reverie at Palm Coast Park Pond 4		

Service Report

SOLITUDE
LAKE MANAGEMENT

		Account	Reverie at Palm Coast Park CDD
Work Order	00879977	Contact	Clint Smith
Work Order Number	00879977	Address	Wellfield Grade and U.S. 1 Palm Coast, FL 32137 United States
Created Date	10/4/2025		

Reverie at Palm Coast Park Pond 9		
Reverie at Palm Coast Park Pond 5		
Reverie at Palm Coast Park Pond 5B		
Reverie at Palm Coast Park Pond 6		
Reverie at Palm Coast Park Pond 5A		

Service Report

SOLITUDE LAKE MANAGEMENT

		Account	Reverie at Palm Coast Park CDD
Work Order	00885731	Contact	Clint Smith
Work Order Number	00885731	Address	Wellfield Grade and U.S. 1 Palm Coast, FL 32137 United States
Created Date	10/20/2025		

Work Details

Specialist Comments to Customer	10/17/25 Good morning this is boat technician cortney I will now be taking over south side of property with the big lake and 2 small ones for treatments I brought out a boat to treat lakes for shoreline grass and emergents very well and throughout made my inspections by checking outflows and removing any visible trash and debris along the way emergents treated will be dying out into week I will be back on sight next month to continue treatments thanks and have a great day!!	Prepared By	CORTNEY DUNFORD

Work Order Assets

Asset	Status	Product Work Type
Reverie at Palm Coast Park Pond 10	Treated	
Reverie at Palm Coast Park Lake 1	Treated	
Reverie at Palm Coast Park Pond 11	Treated	

Service Parameters

Asset	Product Work Type	Specialist Comments to Customer
Reverie at Palm Coast Park Pond 10	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 10	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 10	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 10	MONITORING	
Reverie at Palm Coast Park Pond 11	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 11	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 11	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 11	MONITORING	
Reverie at Palm Coast Park Lake 1	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Lake 1	LAKE WEED CONTROL	
Reverie at Palm Coast Park Lake 1	ALGAE CONTROL	
Reverie at Palm Coast Park Lake 1	MONITORING	
Reverie at Palm Coast Park Pond 11		
Reverie at Palm Coast Park Lake 1		
Reverie at Palm Coast Park Pond 10		

Service Report

SOLITUDE
LAKE MANAGEMENT

		Account	Reverie at Palm Coast Park CDD
Work Order	00885731	Contact	Clint Smith
Work Order Number	00885731	Address	Wellfield Grade and U.S. 1 Palm Coast, FL 32137 United States
Created Date	10/20/2025		

Service Report

SOLITUDE LAKE MANAGEMENT

		Account	Reverie at Palm Coast Park CDD
Work Order	00885731	Contact	Clint Smith
Work Order Number	00885731	Address	Wellfield Grade and U.S. 1 Palm Coast, FL 32137 United States
Created Date	10/20/2025		

Work Details

Specialist Comments to Customer	10/17/25 Good morning this is boat technician cortney I will now be taking over south side of property with the big lake and 2 small ones for treatments I brought out a boat to treat lakes for shoreline grass and emergents very well and throughout made my inspections by checking outflows and removing any visible trash and debris along the way emergents treated will be dying out into week I will be back on sight next month to continue treatments thanks and have a great day!!	Prepared By	CORTNEY DUNFORD

Work Order Assets

Asset	Status	Product Work Type
Reverie at Palm Coast Park Pond 10	Treated	
Reverie at Palm Coast Park Lake 1	Treated	
Reverie at Palm Coast Park Pond 11	Treated	

Service Parameters

Asset	Product Work Type	Specialist Comments to Customer
Reverie at Palm Coast Park Pond 10	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 10	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 10	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 10	MONITORING	
Reverie at Palm Coast Park Pond 11	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Pond 11	LAKE WEED CONTROL	
Reverie at Palm Coast Park Pond 11	ALGAE CONTROL	
Reverie at Palm Coast Park Pond 11	MONITORING	
Reverie at Palm Coast Park Lake 1	SHORELINE WEED CONTROL	
Reverie at Palm Coast Park Lake 1	LAKE WEED CONTROL	
Reverie at Palm Coast Park Lake 1	ALGAE CONTROL	
Reverie at Palm Coast Park Lake 1	MONITORING	

SECTION 4

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00851930	Account	Sawmill Branch at Palm Coast Park CDD
Work Order Number	00851930	Contact	Clint Smith
		Address	4 Summerwood Rd S Palm Coast, FL 32137 United States
Created Date	8/26/2025		

Work Details

Specialist Comments to Customer	Good morning today I treated your ponds for algae as well as submersed aquatics.I also removed trash debris.I will be back at the end of the month to treat your ponds again.Thank you and have a great rest of your day your spray tech william.	Prepared By	William McTizic

Work Order Assets

Asset	Status	Product Work Type
Pond 2	Inspected	
Pond 5	Inspected	
Pond 7	Inspected	
Pond 10	Inspected	
Pond 15	Inspected	
Pond 12	Inspected	
Pond 13	Inspected	
Pond 16	Inspected	
Pond 14	Inspected	
Pond 3	Inspected	
Pond 4	Inspected	
Pond 8	Inspected	
Pond 9	Inspected	
Pond 1	Inspected	
Pond 6	Inspected	
Pond 11	Inspected	

Service Parameters

Asset	Product Work Type	Specialist Comments to Customer
Pond 2	SHORELINE WEED CONTROL	
Pond 2	LAKE WEED CONTROL	
Pond 2	ALGAE CONTROL	
Pond 2	MONITORING	
Pond 15	SHORELINE WEED CONTROL	
Pond 15	LAKE WEED CONTROL	

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00851930	Account	Sawmill Branch at Palm Coast Park CDD
Work Order Number	00851930	Contact	Clint Smith
		Address	4 Summerwood Rd S Palm Coast, FL 32137 United States
Created Date	8/26/2025		

Pond 15	ALGAE CONTROL		
Pond 15	MONITORING		
Pond 10	SHORELINE WEED CONTROL		
Pond 10	LAKE WEED CONTROL		
Pond 10	ALGAE CONTROL		
Pond 10	MONITORING		
Pond 7	SHORELINE WEED CONTROL		
Pond 7	LAKE WEED CONTROL		
Pond 7	ALGAE CONTROL		
Pond 7	MONITORING		
Pond 5	SHORELINE WEED CONTROL		
Pond 5	LAKE WEED CONTROL		
Pond 5	ALGAE CONTROL		
Pond 5	MONITORING		
Pond 14	SHORELINE WEED CONTROL		
Pond 14	LAKE WEED CONTROL		
Pond 14	ALGAE CONTROL		
Pond 14	MONITORING		
Pond 16	SHORELINE WEED CONTROL		
Pond 16	LAKE WEED CONTROL		
Pond 16	ALGAE CONTROL		
Pond 16	MONITORING		
Pond 13	SHORELINE WEED CONTROL		
Pond 13	LAKE WEED CONTROL		
Pond 13	ALGAE CONTROL		
Pond 13	MONITORING		
Pond 12	SHORELINE WEED CONTROL		
Pond 12	LAKE WEED CONTROL		
Pond 12	ALGAE CONTROL		
Pond 12	MONITORING		
Pond 9	SHORELINE WEED CONTROL		
Pond 9	LAKE WEED CONTROL		
Pond 9	ALGAE CONTROL		
Pond 9	MONITORING		

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00851930	Account	Sawmill Branch at Palm Coast Park CDD
Work Order Number	00851930	Contact	Clint Smith
		Address	4 Summerwood Rd S Palm Coast, FL 32137 United States
Created Date	8/26/2025		

Pond 8	SHORELINE WEED CONTROL	
Pond 8	LAKE WEED CONTROL	
Pond 8	ALGAE CONTROL	
Pond 8	MONITORING	
Pond 4	SHORELINE WEED CONTROL	
Pond 4	LAKE WEED CONTROL	
Pond 4	ALGAE CONTROL	
Pond 4	MONITORING	
Pond 3	SHORELINE WEED CONTROL	
Pond 3	LAKE WEED CONTROL	
Pond 3	ALGAE CONTROL	
Pond 3	MONITORING	
Pond 11	SHORELINE WEED CONTROL	
Pond 11	LAKE WEED CONTROL	
Pond 11	ALGAE CONTROL	
Pond 11	MONITORING	
Pond 6	SHORELINE WEED CONTROL	
Pond 6	LAKE WEED CONTROL	
Pond 6	ALGAE CONTROL	
Pond 6	MONITORING	
Pond 1	SHORELINE WEED CONTROL	
Pond 1	LAKE WEED CONTROL	
Pond 1	ALGAE CONTROL	
Pond 1	MONITORING	
Pond 11		
Pond 6		
Pond 1		
Pond 9		
Pond 8		
Pond 4		
Pond 3		
Pond 14		
Pond 16		
Pond 13		

Service Report

SOLITUDE
LAKE MANAGEMENT

Work Order	00851930	Account	Sawmill Branch at Palm Coast Park CDD
Work Order Number	00851930	Contact	Clint Smith
		Address	4 Summerwood Rd S Palm Coast, FL 32137 United States
Created Date	8/26/2025		

Pond 12		
Pond 15		
Pond 10		
Pond 7		
Pond 5		
Pond 2		

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00857597	Account	Sawmill Branch at Palm Coast Park CDD
Work Order Number	00857597	Contact	Clint Smith
		Address	4 Summerwood Rd S Palm Coast, FL 32137 United States
Created Date	8/29/2025		

Work Details

Specialist Comments to Customer	Good afternoon today I spot treated your ponds for algae as well as submersed aquatics.I also removed trash debris .Overall your ponds are in great condition at this time.I will be back next month to treat your ponds again.Thank you and have a great rest of your day your spray tech william.	Prepared By	William McTizic

Work Order Assets

Asset	Status	Product Work Type
Pond 2	Inspected	
Pond 15	Inspected	
Pond 10	Inspected	
Pond 7	Inspected	
Pond 5	Inspected	
Pond 14	Inspected	
Pond 16	Inspected	
Pond 13	Inspected	
Pond 12	Inspected	
Pond 9	Inspected	
Pond 8	Inspected	
Pond 4	Inspected	
Pond 3	Inspected	
Pond 11	Inspected	
Pond 6	Inspected	
Pond 1	Inspected	

Service Parameters

Asset	Product Work Type	Specialist Comments to Customer
Pond 2	SHORELINE WEED CONTROL	
Pond 2	LAKE WEED CONTROL	
Pond 2	ALGAE CONTROL	
Pond 2	MONITORING	
Pond 15	SHORELINE WEED CONTROL	

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00857597	Account	Sawmill Branch at Palm Coast Park CDD
Work Order Number	00857597	Contact	Clint Smith
		Address	4 Summerwood Rd S Palm Coast, FL 32137 United States
Created Date	8/29/2025		

Pond 15	LAKE WEED CONTROL	
Pond 15	ALGAE CONTROL	
Pond 15	MONITORING	
Pond 10	SHORELINE WEED CONTROL	
Pond 10	LAKE WEED CONTROL	
Pond 10	ALGAE CONTROL	
Pond 10	MONITORING	
Pond 7	SHORELINE WEED CONTROL	
Pond 7	LAKE WEED CONTROL	
Pond 7	ALGAE CONTROL	
Pond 7	MONITORING	
Pond 5	SHORELINE WEED CONTROL	
Pond 5	LAKE WEED CONTROL	
Pond 5	ALGAE CONTROL	
Pond 5	MONITORING	
Pond 14	SHORELINE WEED CONTROL	
Pond 14	LAKE WEED CONTROL	
Pond 14	ALGAE CONTROL	
Pond 14	MONITORING	
Pond 16	SHORELINE WEED CONTROL	
Pond 16	LAKE WEED CONTROL	
Pond 16	ALGAE CONTROL	
Pond 16	MONITORING	
Pond 13	SHORELINE WEED CONTROL	
Pond 13	LAKE WEED CONTROL	
Pond 13	ALGAE CONTROL	
Pond 13	MONITORING	
Pond 12	SHORELINE WEED CONTROL	
Pond 12	LAKE WEED CONTROL	
Pond 12	ALGAE CONTROL	
Pond 12	MONITORING	
Pond 9	SHORELINE WEED CONTROL	
Pond 9	LAKE WEED CONTROL	
Pond 9	ALGAE CONTROL	

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00857597	Account	Sawmill Branch at Palm Coast Park CDD
Work Order Number	00857597	Contact	Clint Smith
		Address	4 Summerwood Rd S Palm Coast, FL 32137 United States
Created Date	8/29/2025		

Pond 9	MONITORING	
Pond 8	SHORELINE WEED CONTROL	
Pond 8	LAKE WEED CONTROL	
Pond 8	ALGAE CONTROL	
Pond 8	MONITORING	
Pond 4	SHORELINE WEED CONTROL	
Pond 4	LAKE WEED CONTROL	
Pond 4	ALGAE CONTROL	
Pond 4	MONITORING	
Pond 3	SHORELINE WEED CONTROL	
Pond 3	LAKE WEED CONTROL	
Pond 3	ALGAE CONTROL	
Pond 3	MONITORING	
Pond 11	SHORELINE WEED CONTROL	
Pond 11	LAKE WEED CONTROL	
Pond 11	ALGAE CONTROL	
Pond 11	MONITORING	
Pond 6	SHORELINE WEED CONTROL	
Pond 6	LAKE WEED CONTROL	
Pond 6	ALGAE CONTROL	
Pond 6	MONITORING	
Pond 1	SHORELINE WEED CONTROL	
Pond 1	LAKE WEED CONTROL	
Pond 1	ALGAE CONTROL	
Pond 1	MONITORING	
Pond 1		
Pond 6		
Pond 11		
Pond 3		
Pond 4		
Pond 8		
Pond 9		
Pond 12		
Pond 13		

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00857597	Account	Sawmill Branch at Palm Coast Park CDD
Work Order Number	00857597	Contact	Clint Smith
		Address	4 Summerwood Rd S Palm Coast, FL 32137 United States
Created Date	8/29/2025		

Pond 16		
Pond 14		
Pond 5		
Pond 7		
Pond 10		
Pond 15		
Pond 2		

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00877594	Account	Sawmill Branch at Palm Coast Park CDD
Work Order Number	00877594	Contact	Clint Smith
		Address	4 Summerwood Rd S Palm Coast, FL 32137 United States
Created Date	9/20/2025		

Work Details

Specialist Comments to Customer	Good morning today I treated your ponds for algae as well as submersed aquatics.I also removed trash debris.During my treatment I seen some fish,alligators,and turtles.Overall your ponds are in great condition at this time.I will be back next month to treat your ponds again.Thank you and have a great rest of your day your spray tech william.	Prepared By	William McTizic

Work Order Assets

Asset	Status	Product Work Type
Pond 1	Inspected	
Pond 6	Inspected	
Pond 11	Inspected	
Pond 3	Inspected	
Pond 4	Inspected	
Pond 8	Inspected	
Pond 9	Inspected	
Pond 12	Inspected	
Pond 13	Inspected	
Pond 16	Inspected	
Pond 14	Inspected	
Pond 5	Inspected	
Pond 7	Inspected	
Pond 10	Inspected	
Pond 15	Inspected	
Pond 2	Inspected	

Service Parameters

Asset	Product Work Type	Specialist Comments to Customer
Pond 2	SHORELINE WEED CONTROL	
Pond 2	LAKE WEED CONTROL	
Pond 2	ALGAE CONTROL	
Pond 2	MONITORING	

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00877594	Account	Sawmill Branch at Palm Coast Park CDD
Work Order Number	00877594	Contact	Clint Smith
		Address	4 Summerwood Rd S Palm Coast, FL 32137 United States
Created Date	9/20/2025		

Pond 15	SHORELINE WEED CONTROL
Pond 15	LAKE WEED CONTROL
Pond 15	ALGAE CONTROL
Pond 15	MONITORING
Pond 10	SHORELINE WEED CONTROL
Pond 10	LAKE WEED CONTROL
Pond 10	ALGAE CONTROL
Pond 10	MONITORING
Pond 7	SHORELINE WEED CONTROL
Pond 7	LAKE WEED CONTROL
Pond 7	ALGAE CONTROL
Pond 7	MONITORING
Pond 5	SHORELINE WEED CONTROL
Pond 5	LAKE WEED CONTROL
Pond 5	ALGAE CONTROL
Pond 5	MONITORING
Pond 14	SHORELINE WEED CONTROL
Pond 14	LAKE WEED CONTROL
Pond 14	ALGAE CONTROL
Pond 14	MONITORING
Pond 16	SHORELINE WEED CONTROL
Pond 16	LAKE WEED CONTROL
Pond 16	ALGAE CONTROL
Pond 16	MONITORING
Pond 13	SHORELINE WEED CONTROL
Pond 13	LAKE WEED CONTROL
Pond 13	ALGAE CONTROL
Pond 13	MONITORING
Pond 12	SHORELINE WEED CONTROL
Pond 12	LAKE WEED CONTROL
Pond 12	ALGAE CONTROL
Pond 12	MONITORING
Pond 9	SHORELINE WEED CONTROL
Pond 9	LAKE WEED CONTROL

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00877594	Account	Sawmill Branch at Palm Coast Park CDD
Work Order Number	00877594	Contact	Clint Smith
		Address	4 Summerwood Rd S Palm Coast, FL 32137 United States
Created Date	9/20/2025		

Pond 9	ALGAE CONTROL	
Pond 9	MONITORING	
Pond 8	SHORELINE WEED CONTROL	
Pond 8	LAKE WEED CONTROL	
Pond 8	ALGAE CONTROL	
Pond 8	MONITORING	
Pond 4	SHORELINE WEED CONTROL	
Pond 4	LAKE WEED CONTROL	
Pond 4	ALGAE CONTROL	
Pond 4	MONITORING	
Pond 3	SHORELINE WEED CONTROL	
Pond 3	LAKE WEED CONTROL	
Pond 3	ALGAE CONTROL	
Pond 3	MONITORING	
Pond 11	SHORELINE WEED CONTROL	
Pond 11	LAKE WEED CONTROL	
Pond 11	ALGAE CONTROL	
Pond 11	MONITORING	
Pond 6	SHORELINE WEED CONTROL	
Pond 6	LAKE WEED CONTROL	
Pond 6	ALGAE CONTROL	
Pond 6	MONITORING	
Pond 1	SHORELINE WEED CONTROL	
Pond 1	LAKE WEED CONTROL	
Pond 1	ALGAE CONTROL	
Pond 1	MONITORING	
Pond 2		
Pond 15		
Pond 10		
Pond 7		
Pond 5		
Pond 14		
Pond 16		
Pond 13		

Service Report

SOLITUDE LAKE MANAGEMENT

		Account	Sawmill Branch at Palm Coast Park CDD
Work Order	00877594	Contact	Clint Smith
Work Order Number	00877594	Address	4 Summerwood Rd S Palm Coast, FL 32137 United States
Created Date	9/20/2025		

Pond 12		
Pond 9		
Pond 8		
Pond 4		
Pond 3		
Pond 11		
Pond 6		
Pond 1		

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00877595	Account	Sawmill Branch at Palm Coast Park CDD
Work Order Number	00877595	Contact	Clint Smith
		Address	4 Summerwood Rd S Palm Coast, FL 32137 United States
Created Date	9/24/2025		

Work Details

Specialist Comments to Customer	Good afternoon today I spot treated your ponds for algae as well as removed trash debris.Overall your ponds are in excellent condition at this time.I will be back next month to treat your ponds again.Thank you and have a great rest of your day your spray tech william	Prepared By	William McTizic

Work Order Assets

Asset	Status	Product Work Type
Pond 3	Inspected	
Pond 11	Inspected	
Pond 6	Inspected	
Pond 1	Inspected	
Pond 4	Inspected	
Pond 8	Inspected	
Pond 16	Inspected	
Pond 13	Inspected	
Pond 12	Inspected	
Pond 9	Inspected	
Pond 10	Inspected	
Pond 7	Inspected	
Pond 5	Inspected	
Pond 14	Inspected	
Pond 2	Inspected	
Pond 15	Inspected	

Service Parameters

Asset	Product Work Type	Specialist Comments to Customer
Pond 2	SHORELINE WEED CONTROL	
Pond 2	LAKE WEED CONTROL	
Pond 2	ALGAE CONTROL	
Pond 2	MONITORING	
Pond 15	SHORELINE WEED CONTROL	
Pond 15	LAKE WEED CONTROL	

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00877595	Account	Sawmill Branch at Palm Coast Park CDD
Work Order Number	00877595	Contact	Clint Smith
		Address	4 Summerwood Rd S Palm Coast, FL 32137 United States
Created Date	9/24/2025		

Pond 15	ALGAE CONTROL
Pond 15	MONITORING
Pond 10	SHORELINE WEED CONTROL
Pond 10	LAKE WEED CONTROL
Pond 10	ALGAE CONTROL
Pond 10	MONITORING
Pond 7	SHORELINE WEED CONTROL
Pond 7	LAKE WEED CONTROL
Pond 7	ALGAE CONTROL
Pond 7	MONITORING
Pond 5	SHORELINE WEED CONTROL
Pond 5	LAKE WEED CONTROL
Pond 5	ALGAE CONTROL
Pond 5	MONITORING
Pond 14	SHORELINE WEED CONTROL
Pond 14	LAKE WEED CONTROL
Pond 14	ALGAE CONTROL
Pond 14	MONITORING
Pond 16	SHORELINE WEED CONTROL
Pond 16	LAKE WEED CONTROL
Pond 16	ALGAE CONTROL
Pond 16	MONITORING
Pond 13	SHORELINE WEED CONTROL
Pond 13	LAKE WEED CONTROL
Pond 13	ALGAE CONTROL
Pond 13	MONITORING
Pond 12	SHORELINE WEED CONTROL
Pond 12	LAKE WEED CONTROL
Pond 12	ALGAE CONTROL
Pond 12	MONITORING
Pond 9	SHORELINE WEED CONTROL
Pond 9	LAKE WEED CONTROL
Pond 9	ALGAE CONTROL
Pond 9	MONITORING

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00877595	Account	Sawmill Branch at Palm Coast Park CDD
Work Order Number	00877595	Contact	Clint Smith
		Address	4 Summerwood Rd S Palm Coast, FL 32137 United States
Created Date	9/24/2025		

Pond 8	SHORELINE WEED CONTROL	
Pond 8	LAKE WEED CONTROL	
Pond 8	ALGAE CONTROL	
Pond 8	MONITORING	
Pond 4	SHORELINE WEED CONTROL	
Pond 4	LAKE WEED CONTROL	
Pond 4	ALGAE CONTROL	
Pond 4	MONITORING	
Pond 3	SHORELINE WEED CONTROL	
Pond 3	LAKE WEED CONTROL	
Pond 3	ALGAE CONTROL	
Pond 3	MONITORING	
Pond 11	SHORELINE WEED CONTROL	
Pond 11	LAKE WEED CONTROL	
Pond 11	ALGAE CONTROL	
Pond 11	MONITORING	
Pond 6	SHORELINE WEED CONTROL	
Pond 6	LAKE WEED CONTROL	
Pond 6	ALGAE CONTROL	
Pond 6	MONITORING	
Pond 1	SHORELINE WEED CONTROL	
Pond 1	LAKE WEED CONTROL	
Pond 1	ALGAE CONTROL	
Pond 1	MONITORING	
Pond 15		
Pond 2		
Pond 14		
Pond 5		
Pond 7		
Pond 10		
Pond 9		
Pond 12		
Pond 13		
Pond 16		

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00877595	Account	Sawmill Branch at Palm Coast Park CDD
Work Order Number	00877595	Contact	Clint Smith
		Address	4 Summerwood Rd S Palm Coast, FL 32137 United States
Created Date	9/24/2025		

Pond 8		
Pond 4		
Pond 1		
Pond 6		
Pond 11		
Pond 3		

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00884455	Account	Sawmill Branch at Palm Coast Park CDD
Work Order Number	00884455	Contact	Clint Smith
		Address	4 Summerwood Rd S Palm Coast, FL 32137 United States
Created Date	10/30/2025		

Work Details

Specialist Comments to Customer	Good afternoon today I spot treated your ponds for algae as well as submersed aquatics.I also removed trash debris.I will be back at the beginning of next month to treat your ponds again.Thank you and have a great rest of your day your spray tech william.	Prepared By	William McTizic

Work Order Assets

Asset	Status	Product Work Type
Pond 1	Inspected	
Pond 6	Inspected	
Pond 11	Inspected	
Pond 3	Inspected	
Pond 4	Inspected	
Pond 13	Inspected	
Pond 16	Inspected	
Pond 14	Inspected	
Pond 5	Inspected	
Pond 7	Inspected	
Pond 10	Inspected	
Pond 15	Inspected	
Pond 2	Inspected	
Pond 8	Inspected	
Pond 9	Inspected	
Pond 12	Inspected	

Service Parameters

Asset	Product Work Type	Specialist Comments to Customer
Pond 2	SHORELINE WEED CONTROL	
Pond 2	LAKE WEED CONTROL	
Pond 2	ALGAE CONTROL	
Pond 2	MONITORING	
Pond 15	SHORELINE WEED CONTROL	
Pond 15	LAKE WEED CONTROL	

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00884455	Account	Sawmill Branch at Palm Coast Park CDD
Work Order Number	00884455	Contact	Clint Smith
		Address	4 Summerwood Rd S Palm Coast, FL 32137 United States
Created Date	10/30/2025		

Pond 15	ALGAE CONTROL	
Pond 15	MONITORING	
Pond 10	SHORELINE WEED CONTROL	
Pond 10	LAKE WEED CONTROL	
Pond 10	ALGAE CONTROL	
Pond 10	MONITORING	
Pond 7	SHORELINE WEED CONTROL	
Pond 7	LAKE WEED CONTROL	
Pond 7	ALGAE CONTROL	
Pond 7	MONITORING	
Pond 5	SHORELINE WEED CONTROL	
Pond 5	LAKE WEED CONTROL	
Pond 5	ALGAE CONTROL	
Pond 5	MONITORING	
Pond 14	SHORELINE WEED CONTROL	
Pond 14	LAKE WEED CONTROL	
Pond 14	ALGAE CONTROL	
Pond 14	MONITORING	
Pond 16	SHORELINE WEED CONTROL	
Pond 16	LAKE WEED CONTROL	
Pond 16	ALGAE CONTROL	
Pond 16	MONITORING	
Pond 13	SHORELINE WEED CONTROL	
Pond 13	LAKE WEED CONTROL	
Pond 13	ALGAE CONTROL	
Pond 13	MONITORING	
Pond 12	SHORELINE WEED CONTROL	
Pond 12	LAKE WEED CONTROL	
Pond 12	ALGAE CONTROL	
Pond 12	MONITORING	
Pond 9	SHORELINE WEED CONTROL	
Pond 9	LAKE WEED CONTROL	
Pond 9	ALGAE CONTROL	
Pond 9	MONITORING	

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00884455	Account	Sawmill Branch at Palm Coast Park CDD
Work Order Number	00884455	Contact	Clint Smith
		Address	4 Summerwood Rd S Palm Coast, FL 32137 United States
Created Date	10/30/2025		

Pond 8	SHORELINE WEED CONTROL	
Pond 8	LAKE WEED CONTROL	
Pond 8	ALGAE CONTROL	
Pond 8	MONITORING	
Pond 4	SHORELINE WEED CONTROL	
Pond 4	LAKE WEED CONTROL	
Pond 4	ALGAE CONTROL	
Pond 4	MONITORING	
Pond 3	SHORELINE WEED CONTROL	
Pond 3	LAKE WEED CONTROL	
Pond 3	ALGAE CONTROL	
Pond 3	MONITORING	
Pond 11	SHORELINE WEED CONTROL	
Pond 11	LAKE WEED CONTROL	
Pond 11	ALGAE CONTROL	
Pond 11	MONITORING	
Pond 6	SHORELINE WEED CONTROL	
Pond 6	LAKE WEED CONTROL	
Pond 6	ALGAE CONTROL	
Pond 6	MONITORING	
Pond 1	SHORELINE WEED CONTROL	
Pond 1	LAKE WEED CONTROL	
Pond 1	ALGAE CONTROL	
Pond 1	MONITORING	
Pond 12		
Pond 9		
Pond 8		
Pond 2		
Pond 15		
Pond 10		
Pond 7		
Pond 5		
Pond 14		
Pond 16		

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00884455	Account	Sawmill Branch at Palm Coast Park CDD
Work Order Number	00884455	Contact	Clint Smith
		Address	4 Summerwood Rd S Palm Coast, FL 32137 United States
Created Date	10/30/2025		

Pond 13		
Pond 4		
Pond 3		
Pond 11		
Pond 6		
Pond 1		

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00889944	Account	Sawmill Branch at Palm Coast Park CDD
Work Order Number	00889944	Contact	Clint Smith
		Address	4 Summerwood Rd S Palm Coast, FL 32137 United States
Created Date	10/22/2025		

Work Details

Specialist Comments to Customer	Good afternoon today I hand removed A large amount of cattails as removed trash debris.While on site I seen an alligator as well as some ducks.I will be back at the end of this month to treat the rest of your ponds thank you and have A great rest of your day your spray tech william.	Prepared By	William McTizic

Work Order Assets

Asset	Status	Product Work Type
Pond 1	Inspected	
Pond 6	Inspected	
Pond 7	Inspected	
Pond 10	Inspected	
Pond 15	Inspected	
Pond 2	Inspected	
Pond 13	Inspected	
Pond 16	Inspected	
Pond 14	Inspected	
Pond 5	Inspected	
Pond 8	Inspected	
Pond 9	Inspected	
Pond 12	Inspected	
Pond 11	Inspected	
Pond 3	Inspected	
Pond 4	Inspected	

Service Parameters

Asset	Product Work Type	Specialist Comments to Customer
Pond 2	SHORELINE WEED CONTROL	
Pond 2	LAKE WEED CONTROL	
Pond 2	ALGAE CONTROL	
Pond 2	MONITORING	
Pond 15	SHORELINE WEED CONTROL	
Pond 15	LAKE WEED CONTROL	

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00889944	Account	Sawmill Branch at Palm Coast Park CDD
Work Order Number	00889944	Contact	Clint Smith
		Address	4 Summerwood Rd S Palm Coast, FL 32137 United States
Created Date	10/22/2025		

Pond 15	ALGAE CONTROL	
Pond 15	MONITORING	
Pond 10	SHORELINE WEED CONTROL	
Pond 10	LAKE WEED CONTROL	
Pond 10	ALGAE CONTROL	
Pond 10	MONITORING	
Pond 7	SHORELINE WEED CONTROL	
Pond 7	LAKE WEED CONTROL	
Pond 7	ALGAE CONTROL	
Pond 7	MONITORING	
Pond 5	SHORELINE WEED CONTROL	
Pond 5	LAKE WEED CONTROL	
Pond 5	ALGAE CONTROL	
Pond 5	MONITORING	
Pond 14	SHORELINE WEED CONTROL	
Pond 14	LAKE WEED CONTROL	
Pond 14	ALGAE CONTROL	
Pond 14	MONITORING	
Pond 16	SHORELINE WEED CONTROL	
Pond 16	LAKE WEED CONTROL	
Pond 16	ALGAE CONTROL	
Pond 16	MONITORING	
Pond 13	SHORELINE WEED CONTROL	
Pond 13	LAKE WEED CONTROL	
Pond 13	ALGAE CONTROL	
Pond 13	MONITORING	
Pond 12	SHORELINE WEED CONTROL	
Pond 12	LAKE WEED CONTROL	
Pond 12	ALGAE CONTROL	
Pond 12	MONITORING	
Pond 9	SHORELINE WEED CONTROL	
Pond 9	LAKE WEED CONTROL	
Pond 9	ALGAE CONTROL	
Pond 9	MONITORING	

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00889944	Account	Sawmill Branch at Palm Coast Park CDD
Work Order Number	00889944	Contact	Clint Smith
		Address	4 Summerwood Rd S Palm Coast, FL 32137 United States
Created Date	10/22/2025		

Pond 8	SHORELINE WEED CONTROL	
Pond 8	LAKE WEED CONTROL	
Pond 8	ALGAE CONTROL	
Pond 8	MONITORING	
Pond 4	SHORELINE WEED CONTROL	
Pond 4	LAKE WEED CONTROL	
Pond 4	ALGAE CONTROL	
Pond 4	MONITORING	
Pond 3	SHORELINE WEED CONTROL	
Pond 3	LAKE WEED CONTROL	
Pond 3	ALGAE CONTROL	
Pond 3	MONITORING	
Pond 11	SHORELINE WEED CONTROL	
Pond 11	LAKE WEED CONTROL	
Pond 11	ALGAE CONTROL	
Pond 11	MONITORING	
Pond 6	SHORELINE WEED CONTROL	
Pond 6	LAKE WEED CONTROL	
Pond 6	ALGAE CONTROL	
Pond 6	MONITORING	
Pond 1	SHORELINE WEED CONTROL	
Pond 1	LAKE WEED CONTROL	
Pond 1	ALGAE CONTROL	
Pond 1	MONITORING	
Pond 4		
Pond 3		
Pond 11		
Pond 12		
Pond 9		
Pond 8		
Pond 5		
Pond 14		
Pond 16		
Pond 13		

Service Report

SOLITUDE
LAKE MANAGEMENT

Work Order	00889944	Account	Sawmill Branch at Palm Coast Park CDD
Work Order Number	00889944	Contact	Clint Smith
		Address	4 Summerwood Rd S Palm Coast, FL 32137 United States
Created Date	10/22/2025		

Pond 2		
Pond 15		
Pond 10		
Pond 7		
Pond 6		
Pond 1		

SECTION 5

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00866301	Account	Sawmill Creek at Palm Coast Park CDD
Work Order Number	00866301	Contact	Clint Smith
		Address	2 Rivertown Road Palm Coast, FL 32137 United States
Created Date	9/25/2025		

Work Details

Specialist Comments to Customer	Good morning today I treated your ponds for shoreline grasses,dollar weed,and algae.I also removed trash debris and added dye to your ponds.I will be back next month to treat your ponds again.Thank you and have a great rest of your day your spray tech william.	Prepared By	William McTizic

Work Order Assets

Asset	Status	Product Work Type
Sawmill Creek at Palm Coast Park LAKE ALL	Inspected	

Service Parameters

Asset	Product Work Type	Specialist Comments to Customer
Sawmill Creek at Palm Coast Park LAKE ALL	SHORELINE WEED CONTROL	
Sawmill Creek at Palm Coast Park LAKE ALL	MONITORING	
Sawmill Creek at Palm Coast Park LAKE ALL	LAKE WEED CONTROL	
Sawmill Creek at Palm Coast Park LAKE ALL	ALGAE CONTROL	
Sawmill Creek at Palm Coast Park LAKE ALL		

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00867541	Account	Sawmill Creek at Palm Coast Park CDD
Work Order Number	00867541	Contact	Clint Smith
		Address	2 Rivertown Road Palm Coast, FL 32137 United States
Created Date	9/27/2025		

Work Details

Specialist Comments to Customer	Good afternoon today I treated your pond for phosphorus.Thank you and have a great rest of your day your spray tech william	Prepared By	William McTizic

Work Order Assets

Asset	Status	Product Work Type
Sawmill Creek at Palm Coast Park Pond 3	Inspected	

Service Parameters

Asset	Product Work Type	Specialist Comments to Customer
Sawmill Creek at Palm Coast Park Pond 3	PHOSLOCK/EUTROSORB	
Sawmill Creek at Palm Coast Park Pond 3		

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00891542	Account	Sawmill Creek at Palm Coast Park CDD
Work Order Number	00891542	Contact	Clint Smith
		Address	2 Rivertown Road Palm Coast, FL 32137 United States
Created Date	10/23/2025		

Work Details

Specialist Comments to Customer	Good morning today I treated your pond for phosphorus	Prepared By	William McTizic

Work Order Assets

Asset	Status	Product Work Type
Sawmill Creek at Palm Coast Park Pond 3	Inspected	

Service Parameters

Asset	Product Work Type	Specialist Comments to Customer
Sawmill Creek at Palm Coast Park Pond 3	PHOSLOCK/EUTROSORB	
Sawmill Creek at Palm Coast Park Pond 3		

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00891671	Account	Sawmill Creek at Palm Coast Park CDD
Work Order Number	00891671	Contact	Clint Smith
		Address	2 Rivertown Road Palm Coast, FL 32137 United States
Created Date	10/25/2025		

Work Details

Specialist Comments to Customer	Good afternoon today I treated your ponds for planktonic algae as well as filamentous algae and submersed aquatics.I also removed trash debris.I will be back next month to treat your ponds again.Thank you and have a great rest of your day your spray tech william.	Prepared By	William McTizic

Work Order Assets

Asset	Status	Product Work Type
Sawmill Creek at Palm Coast Park LAKE ALL	Inspected	

Service Parameters

Asset	Product Work Type	Specialist Comments to Customer
Sawmill Creek at Palm Coast Park LAKE ALL	SHORELINE WEED CONTROL	
Sawmill Creek at Palm Coast Park LAKE ALL	MONITORING	
Sawmill Creek at Palm Coast Park LAKE ALL	LAKE WEED CONTROL	
Sawmill Creek at Palm Coast Park LAKE ALL	ALGAE CONTROL	
Sawmill Creek at Palm Coast Park LAKE ALL		

SECTION 6

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00847346	Account	Palm Coast Park CDD (Somerset)
Work Order Number	00847346	Contact	Clint Smith
		Address	61 Camellia St Palm Coast, FL 32137 United States
Created Date	8/29/2025		

Work Details

Specialist Comments to Customer	Good morning today I spot treated your ponds for shoreline grasses and dollar weed.I will be back next month to treat your ponds again.Thank you and have a great rest of your day your spray tech william.	Prepared By	William McTizic

Work Order Assets

Asset	Status	Product Work Type
Somerset at Palm Coast Park Pond 1	Inspected	
Somerset at Palm Coast Park Pond 2	Inspected	

Service Parameters

Asset	Product Work Type	Specialist Comments to Customer
Somerset at Palm Coast Park Pond 2	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Somerset at Palm Coast Park Pond 1	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Somerset at Palm Coast Park Pond 2	SHORELINE WEED CONTROL	
Somerset at Palm Coast Park Pond 2	LAKE WEED CONTROL	
Somerset at Palm Coast Park Pond 2	ALGAE CONTROL	
Somerset at Palm Coast Park Pond 2	MONITORING	
Somerset at Palm Coast Park Pond 1	SHORELINE WEED CONTROL	
Somerset at Palm Coast Park Pond 1	LAKE WEED CONTROL	
Somerset at Palm Coast Park Pond 1	ALGAE CONTROL	
Somerset at Palm Coast Park Pond 1	MONITORING	
Somerset at Palm Coast Park Pond 2		
Somerset at Palm Coast Park Pond 1		

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00866561	Account	Palm Coast Park CDD (Somerset)
Work Order Number	00866561	Contact	Clint Smith
		Address	61 Camellia St Palm Coast, FL 32137 United States
Created Date	9/27/2025		

Work Details

Specialist Comments to Customer	Good afternoon today I treated your ponds for shoreline grasses,cattails,and dollar weed.I will be back next month to treat your ponds again.Thank you and have a great rest of your day your spray tech william.	Prepared By	William McTizic

Work Order Assets

Asset	Status	Product Work Type
Somerset at Palm Coast Park Pond 2	Inspected	
Somerset at Palm Coast Park Pond 1	Inspected	

Service Parameters

Asset	Product Work Type	Specialist Comments to Customer
Somerset at Palm Coast Park Pond 2	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Somerset at Palm Coast Park Pond 1	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Somerset at Palm Coast Park Pond 2	SHORELINE WEED CONTROL	
Somerset at Palm Coast Park Pond 2	LAKE WEED CONTROL	
Somerset at Palm Coast Park Pond 2	ALGAE CONTROL	
Somerset at Palm Coast Park Pond 2	MONITORING	
Somerset at Palm Coast Park Pond 1	SHORELINE WEED CONTROL	
Somerset at Palm Coast Park Pond 1	LAKE WEED CONTROL	
Somerset at Palm Coast Park Pond 1	ALGAE CONTROL	
Somerset at Palm Coast Park Pond 1	MONITORING	
Somerset at Palm Coast Park Pond 1		
Somerset at Palm Coast Park Pond 2		

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00899935	Account	Palm Coast Park CDD (Somerset)
Work Order Number	00899935	Contact	Clint Smith
		Address	61 Camellia St Palm Coast, FL 32137 United States
Created Date	10/10/2025		

Work Details

Specialist Comments to Customer	We installed a new control box for the fountain. Everything is functioning properly and the fountain is now on. Thank you for choosing Solitude Lake Management!	Prepared By	Amara Moore

Work Order Assets

Asset	Status	Product Work Type
Somerset at Palm Coast Park - fountain	Included	

Service Parameters

Asset	Product Work Type	Specialist Comments to Customer
Somerset at Palm Coast Park - fountain		

Service Report

SOLITUDE LAKE MANAGEMENT

Work Order	00891842	Account	Palm Coast Park CDD (Somerset)
Work Order Number	00891842	Contact	Clint Smith
		Address	61 Camellia St Palm Coast, FL 32137 United States
Created Date	10/22/2025		

Work Details

Specialist Comments to Customer	Good afternoon today I Inspected your ponds as well as removed trash debris.Your ponds are in excellent condition at this time.I will be back next month to treat your ponds again.Thank you and have a great rest of your day your spray tech william.	Prepared By	William McTizic

Work Order Assets

Asset	Status	Product Work Type
Somerset at Palm Coast Park Pond 1	**Inspected**	
Somerset at Palm Coast Park Pond 2	Inspected	

Service Parameters

Asset	Product Work Type	Specialist Comments to Customer
Somerset at Palm Coast Park Pond 2	**TRASH / DEBRIS COLLECTION (IN HOUSE)**	
Somerset at Palm Coast Park Pond 1	TRASH / DEBRIS COLLECTION (IN HOUSE)	
Somerset at Palm Coast Park Pond 2	**SHORELINE WEED CONTROL**	
Somerset at Palm Coast Park Pond 2	LAKE WEED CONTROL	
Somerset at Palm Coast Park Pond 2	**ALGAE CONTROL**	
Somerset at Palm Coast Park Pond 2	MONITORING	
Somerset at Palm Coast Park Pond 1	**SHORELINE WEED CONTROL**	
Somerset at Palm Coast Park Pond 1	LAKE WEED CONTROL	
Somerset at Palm Coast Park Pond 1	**ALGAE CONTROL**	
Somerset at Palm Coast Park Pond 1	MONITORING	
Somerset at Palm Coast Park Pond 2		
Somerset at Palm Coast Park Pond 1		

SECTION C

SECTION 1

Palm Coast Park
Community Development District
Check Register Summary & ACH Debit Summary
October 1, 2025 through October 31, 2025

Fund	Date	Check #'s/Vendor		Amount
		Check Register		
General Fund- Wells Fargo (Operating)				
	10/8/25	455	$	7,945.94
	10/27/25	456-459	$	15,647.95
		Subtotal	**$**	**23,593.89**
General Fund- Wells Fargo (Payroll)				
	10/31/25	50183 - Allen	$	184.70
	10/31/25	50184 - Hobson	$	184.70
	10/31/25	50185 - Porter	$	184.70
		Subtotal	**$**	**554.10**
General Fund- Wells Fargo (SMC)				
	10/8/25	234-235	$	25,225.31
	10/27/25	236-238	$	6,722.19
		Subtotal	**$**	**31,947.50**
General Fund- Wells Fargo (SLR)				
	10/8/25	135-136	$	5,997.05
	10/27/25	137-138	$	825.31
		Subtotal	**$**	**6,822.36**
General Fund- Wells Fargo (SOM)				
	10/8/25	80	$	865.20
	10/27/25	81-83	$	2,449.87
		Subtotal	**$**	**3,315.07**
Total			**$**	**66,232.92**

*** CHECK DATES 10/01/2025 - 10/31/2025 ***
PALM COAST PARK GENERAL FUND
BANK D WELLS FARGO

CHECK DATE	VEND#	.....INVOICE..... DATE	INVOICE	...EXPENSED TO... YRMO	DPT ACCT# SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	....CHECK..... AMOUNT	#
10/08/25	00009	10/01/25	998585	202510	320-53800-46100			*	7,945.94		
			OCT LANDSCAPE MAINT								
							YELLOWSTONE LANDSCAPE			7,945.94	000455
10/27/25	00003	10/15/25	8815	202510	310-51300-31500			*	1,525.00		
			SEP GENERAL COUNSEL								
							CHIUMENTO LAW PLLC			1,525.00	000456
10/27/25	00001	10/15/25	10152025	202510	320-53800-34100			*	1,500.00		
			10/25 SERVICES AGREEMENT								
							CLINTON F SMITH III			1,500.00	000457
10/27/25	00020	9/15/25	234	202510	310-51300-31700			*	5,732.00		
			FY26 ASSESSMENT ROLL CERT								
		10/01/25	237	202510	310-51300-34000			*	4,012.33		
			OCT25 MANAGEMENT FEES								
		10/01/25	237	202510	310-51300-35300			*	133.25		
			OCT25 WEBSITE ADMIN								
		10/01/25	237	202510	310-51300-35200			*	114.67		
			OCT25 INFO TECH								
		10/01/25	237	202510	310-51300-31300			*	225.33		
			OCT 25 DISSEM AGENT SRVCS								
		10/01/25	237	202510	310-51300-51000			*	20.60		
			OFFICE SUPPLIES								
		10/01/25	237	202510	310-51300-42000			*	518.27		
			POSTAGE								
		10/01/25	237	202510	310-51300-42500			*	60.00		
			COPIES								
		10/01/25	237	202510	310-51300-33000			*	254.00		
			HILTON GARDEN MEET ROOM								
							GOVERNMENTAL MANAGEMENT SERVICES-CF			11,070.45	000458
10/27/25	00006	10/01/25	INV-SN-1	202510	310-51300-35300			*	1,552.50		
			CDD WEBSITE 100125-093026								
							INNERSYNC			1,552.50	000459

TOTAL FOR BANK D 23,593.89

TOTAL FOR REGISTER 23,593.89

CHECK #	EMP #	EMPLOYEE NAME	CHECK AMOUNT	CHECK DATE
50183	7	HEATHER ALLEN	184.70	10/31/2025
50184	8	JEFFREY M HOBSON	184.70	10/31/2025
50185	6	ROBERT S PORTER	184.70	10/31/2025

TOTAL FOR REGISTER 554.10

*** CHECK DATES 10/01/2025 - 10/31/2025 ***
PALM COAST PARK SAWMILL CREEK
BANK A WELLS FARGO

CHECK DATE	VEND#	.....INVOICE..... DATE	INVOICE	...EXPENSED TO... YRMO	DPT ACCT# SUB SUBCLASS	VENDOR NAME	STATUS	AMOUNT	....CHECK..... AMOUNT	#
10/08/25	00003	10/02/25	PSI21177	202510	320-53800-46300		*	1,830.07		
			OCT LAKE MAINT SMB							
		10/02/25	PSI21211	202510	320-53800-46300		*	922.20		
			OCT LAKE MAINT FREEDOM							
		10/02/25	PSI21227	202510	320-53800-46300		*	708.88		
			OCT LAKE MAINT SMC							
						SOLITUDE LAKE MANAGEMENT			3,461.15	000234
10/08/25	00004	10/01/25	998595	202510	320-53800-46100		*	3,813.16		
			OCT LNDSCPE MAINT REN SMC							
		10/01/25	998611	202510	320-53800-46100		*	12,671.00		
			OCT LANDSCAPE MAINT SMB							
		10/01/25	998780	202510	320-53800-46100		*	5,280.00		
			OCT LANDSCAPE MAINT FREED							
						YELLOWSTONE LANDSCAPE			21,764.16	000235
10/27/25	00002	10/01/25	10012025	202510	320-53800-34100		*	600.00		
			10/25 SVC AGMT SMC							
		10/01/25	10012025	202510	320-53800-34100		*	600.00		
			10/25 SVC AGMT SMB2AB							
		10/01/25	10012025	202510	320-53800-34100		*	600.00		
			10/25 SVC AGMT FREEDOM							
						CLINTON F SMITH III			1,800.00	000236
10/27/25	00007	10/01/25	238	202510	310-51300-31300		*	450.63		
			OCT DISSEM AGENT SMC							
		10/01/25	241	202510	310-51300-31300		*	225.31		
			OCT DISSEM AGENT PHASE 7							
						GOVERNMENTAL MANAGEMENT SERVICES-CF			675.94	000237
10/27/25	00022	9/25/25	7908815	202509	310-51300-32300		*	353.85		
			SR 2024 TRUSTEE FEES FY25							
		9/25/25	7908815	202509	300-15500-10000		*	3,892.40		
			SR 2024 TRUSTEE FEES FY26							
						U.S. BANK			4,246.25	000238

TOTAL FOR BANK A 31,947.50

TOTAL FOR REGISTER 31,947.50

*** CHECK DATES 10/01/2025 - 10/31/2025 ***
PALM COAST SPRING LAKE REVERIE
BANK A WELLS FARGO

CHECK DATE	VEND#	.....INVOICE..... DATE	INVOICE	...EXPENSED TO... YRMO	DPT ACCT# SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	....CHECK..... AMOUNT	#
10/08/25	00004	10/02/25	PSI21156	202510	320-53800-46300			*	739.81		
			OCT LAKE MAINT PHASE 1								
		10/02/25	PSI21164	202510	320-53800-46300			*	573.25		
			OCT LAKE MAINT PHASE 2								
							SOLITUDE LAKE MANAGEMENT			1,313.06	000135
10/08/25	00005	10/06/25	173937	202510	320-53800-46100			*	4,683.99		
			OCT POND MOWING								
							FLORIDA ULS OPERATING LLC			4,683.99	000136
10/27/25	00003	10/01/25	10012025	202510	320-53800-34100			*	600.00		
			10/25 SERVICES AGREEMENT								
							CLINTON F SMITH III			600.00	000137
10/27/25	00001	10/01/25	240	202510	310-51300-31300			*	225.31		
			OCT DISSEM AGENT SERVICES								
							GOVERNMENTAL MANAGEMENT SERVICES-CF			225.31	000138

TOTAL FOR BANK A 6,822.36

TOTAL FOR REGISTER 6,822.36

*** CHECK DATES 10/01/2025 - 10/31/2025 ***
PALM COAST SOMERSET
BANK A WELLS FARGO

CHECK DATE	VEND#	.....INVOICE..... DATE	INVOICE	...EXPENSED TO... YRMO	DPT ACCT# SUB	SUBCLASS	VENDOR NAME	STATUS	AMOUNT	....CHECK..... AMOUNT	#
10/08/25	00003	9/01/25	PSI19691	202509	320-53800-46300			*	420.00		
			SEP LAKE MAINTENANCE								
		10/02/25	PSI21217	202510	320-53800-46300			*	445.20		
			OCT LAKE MAINTENANCE								
							SOLITUDE LAKE MANAGEMENT			865.20	000080
10/27/25	00002	10/01/25	10012025	202510	320-53800-34100			*	600.00		
			10/25 SERVICES AGREEMENT								
							CLINTON F SMITH III			600.00	000081
10/27/25	00001	10/01/25	239	202510	310-51300-31300			*	225.31		
			OCT DISSEM AGENT SERVICES								
							GOVERNMENTAL MANAGEMENT SERVICES-CF			225.31	000082
10/27/25	00003	10/14/25	PSI21285	202510	320-53800-46000			*	1,624.56		
			FOUNTAIN REPAIR								
							SOLITUDE LAKE MANAGEMENT			1,624.56	000083

TOTAL FOR BANK A 3,315.07

TOTAL FOR REGISTER 3,315.07

SECTION 2

Palm Coast Park

Community Development District

Unaudited Financial Reporting
October 31, 2025

TABLE OF CONTENTS

Palm Coast Park
Community Development District
Combined Balance Sheet
October 31, 2025

Governmental Fund Types

	General	GF Sawmill Sub	GF Spring Lake Reverie	GF Somerset	Debt Service	CR Sawmill Sub	CR Spring Lake Reverie	CR Somerset	Capital Projects	Totals (memorandum only)
Assets										
Cash- Checking Account	$56,426	$191,422	$139,461	$4,299	----	$119,908	$87,000	$7,250	----	$605,766
Due from General Fund	----	----	----	----	----	----	----	----	----	$0
Series 2006	----	----	----	----	----	----	----	----	----	$0
Series 2019	----	----	----	----	----	----	----	----	----	$0
Series 2021	----	----	----	----	----	----	----	----	----	$0
Series 2022	----	----	----	----	----	----	----	----	----	$0
Series 2023	----	----	----	----	----	----	----	----	----	$0
Series 2024	----	----	----	----	----	----	----	----	----	$0
Assessment Receivable	----	----	----	----	----	----	----	----	----	$0
Due from Sawmill Creek	----	----	----	----	----	----	----	----	----	$0
Due from Debt 2006	----	----	----	----	----	----	----	----	----	$0
Due from Debt 2019	----	----	----	----	----	----	----	----	----	$0
Due from Debt 2021	----	----	----	----	----	----	----	----	----	$0
Due from Debt 2022	----	----	----	----	----	----	----	----	----	$0
Due from Debt 2023	----	----	----	----	----	----	----	----	----	$0
Due from Spring Lake Reverie	----	----	----	----	----	----	----	----	----	$0
Due from Somerset	----	----	----	----	----	----	----	----	----	$0
Due from Capital Projects	----	----	----	----	----	----	----	----	----	$0
Due from Spring Lake- Tracts 2 & 3	----	----	----	----	----	----	----	----	----	$0
Due from Sawmill Branch- Phase 2A/2B (Tract 10)	----	----	----	----	----	----	----	----	----	$0
Due from Other	----	----	----	----	----	----	----	----	----	$0
Investments:										
SBA	$411,691	----	----	----	----	----	----	----	----	$411,691
Series 2006										
Reserve	----	----	----	----	$1,117,651	----	----	----	----	$1,117,651
Revenue	----	----	----	----	$751,818	----	----	----	----	$751,818
Interest	----	----	----	----	----	----	----	----	----	$0
Prepayment	----	----	----	----	$38	----	----	----	----	$38
Cap. Interest	----	----	----	----	----	----	----	----	----	$0
Acquisition and Construction	----	----	----	----	----	----	----	----	$2,585,168	$2,585,168
Cost of Issuance	----	----	----	----	----	----	----	----	----	$0
Series 2019										
Reserve	----	----	----	----	$145,530	----	----	----	----	$145,530
Revenue	----	----	----	----	$95,656	----	----	----	----	$95,656
Interest	----	----	----	----	----	----	----	----	----	$0
Prepayment	----	----	----	----	----	----	----	----	----	$0
Cap. Interest	----	----	----	----	----	----	----	----	----	$0
Acquisition and Construction	----	----	----	----	----	----	----	----	$25,605	$25,605
Cost of Issuance	----	----	----	----	----	----	----	----	----	$0
Series 2021										
Reserve	----	----	----	----	$271,395	----	----	----	----	$271,395
Revenue	----	----	----	----	$170,462	----	----	----	----	$170,462
Interest	----	----	----	----	----	----	----	----	----	$0
Prepayment	----	----	----	----	----	----	----	----	----	$0
Cap. Interest	----	----	----	----	----	----	----	----	----	$0
Acquisition and Construction	----	----	----	----	----	----	----	----	$39,615	$39,615
Cost of Issuance	----	----	----	----	----	----	----	----	----	$0
Series 2022										
Reserve	----	----	----	----	$200,846	----	----	----	----	$200,846
Revenue	----	----	----	----	$324,737	----	----	----	----	$324,737
Interest	----	----	----	----	----	----	----	----	----	$0
Prepayment	----	----	----	----	----	----	----	----	----	$0
Cap. Interest	----	----	----	----	----	----	----	----	----	$0
Acquisition and Construction	----	----	----	----	----	----	----	----	$10,497	$10,497
Cost of Issuance	----	----	----	----	----	----	----	----	----	$0
Series 2023										
Reserve	----	----	----	----	$209,730	----	----	----	----	$209,730
Revenue	----	----	----	----	$172,881	----	----	----	----	$172,881
Interest	----	----	----	----	----	----	----	----	----	$0
Prepayment	----	----	----	----	----	----	----	----	----	$0
Cap. Interest	----	----	----	----	----	----	----	----	----	$0
Acquisition and Construction	----	----	----	----	----	----	----	----	$32,606	$32,606
Cost of Issuance	----	----	----	----	----	----	----	----	----	$0
Series 2024										
Reserve	----	----	----	----	$308,305	----	----	----	----	$308,305
Revenue	----	----	----	----	$20,505	----	----	----	----	$20,505
Interest	----	----	----	----	$238,368	----	----	----	----	$238,368
Prepayment	----	----	----	----	----	----	----	----	----	$0
Cap. Interest	----	----	----	----	----	----	----	----	----	$0
Acquisition and Construction	----	----	----	----	----	----	----	----	$63,796	$63,796
Cost of Issuance	----	----	----	----	----	----	----	----	----	$0
Deposits	----	----	----	----	----	----	----	----	----	$0
Prepaid Expenses	----	----	----	----	----	----	----	----	----	$0
Total Assets	**$468,117**	**$191,422**	**$139,461**	**$4,299**	**$4,027,922**	**$119,908**	**$87,000**	**$7,250**	**$2,757,286**	**$7,802,666**

	General	GF Sawmill Sub	GF Spring Lake Reverie	GF Somerset	Debt Service	CR Sawmill Sub	CR Spring Lake Reverie	CR Somerset	Capital Projects	Totals (memorandum only)
Liabilities										
Accounts Payable	$1,784	$1,000	$6,983	$4,781	----	----	----	----	----	$14,548
Accrued Expenses	$0	$2,743	----	----	----	----	----	----	----	$2,743
FICA Payable	$122	----	----	----	----	----	----	----	----	$122
Due to General Fund	----	----	----	----	----	----	----	----	----	$0
Due to 2006 DSF	----	----	----	----	----	----	----	----	----	$0
Due to 2019 DSF	----	----	----	----	----	----	----	----	----	$0
Due to 2021 DSF	----	----	----	----	----	----	----	----	----	$0
Due to 2022 DSF	----	----	----	----	----	----	----	----	----	$0
Due to 2023 DSF	----	----	----	----	----	----	----	----	----	$0
Due to Spring Lake Reverie	----	----	----	----	----	----	----	----	----	$0
Due to Sawmill Subdivision	----	----	----	----	----	----	----	----	----	$0
Deposit- Spring Lake- Tracts 2 & 3	----	----	----	----	----	----	----	----	----	$0
Due to Somerset	----	----	----	----	----	----	----	----	----	$0
Deposit- Sawmill Branch- DR Horton	----	----	----	----	----	----	----	----	----	$0
Deposit- Somerset	----	----	----	----	----	----	----	----	----	$0
Fund Equity										
Net Assets	----	----	----	----	----	----	----	----	----	$0
Fund Balances										
Unassigned	$466,211	$187,678	$132,478	($482)	----	$119,908	$87,000	$7,250	----	$1,000,044
Nonspendable- Prepaid	----	----	----	----	----	----	----	----	----	$0
Restricted for Capital Projects	----	----	----	----	----	----	----	----		$0
Series 2006	----	----	----	----	----	----	----	----	$2,585,168	$2,585,168
Series 2019	----	----	----	----	----	----	----	----	$25,605	$25,605
Series 2021	----	----	----	----	----	----	----	----	$39,615	$39,615
Series 2022	----	----	----	----	----	----	----	----	$10,497	$10,497
Series 2023	----	----	----	----	----	----	----	----	$32,606	$32,606
Series 2024	----	----	----	----	----	----	----	----	$63,796	$63,796
Restricted for Debt Service	----	----	----	----	----	----	----	----	----	$0
Series 2006	----	----	----	----	$1,869,507	----	----	----	----	$1,869,507
Series 2019	----	----	----	----	$241,186	----	----	----	----	$241,186
Series 2021	----	----	----	----	$441,857	----	----	----	----	$441,857
Series 2022	----	----	----	----	$525,583	----	----	----	----	$525,583
Series 2023	----	----	----	----	$382,611	----	----	----	----	$382,611
Series 2024	----	----	----	----	$567,178	----	----	----	----	$567,178
Total Liabilities, Fund Equity, Other	**$468,117**	**$191,422**	**$139,461**	**$4,299**	**$4,027,922**	**$119,908**	**$87,000**	**$7,250**	**$2,757,286**	**$7,802,666**

Palm Coast Park
Community Development District
General Fund
Statement of Revenues & Expenditures
For Period Ending October 31, 2025

	Adopted Budget	Prorated Budget 10/31/25	Actual 10/31/25	Variance
Revenues				
Operations and Maintenance Assessments- Tax Roll	$310,966	$25,914	$0	($25,914)
Interest Earnings	$0	$0	$0	$0
Interest Earnings - SBA	$9,151	$763	$1,494	$731
Miscellaneous Income	$0	$0	$0	$0
Total Revenues	**$320,117**	**$26,676**	**$1,494**	**($25,183)**
Administrative Expenditures				
Supervisors Fees	$12,000	$1,000	$600	$400
FICA Taxes	$924	$77	$46	$31
Arbitrage	$600	$50	$0	$50
Dissemination Agent	$2,704	$225	$225	$0
Assessment Administration	$5,732	$5,732	$5,732	$0
Engineering	$7,980	$665	$908	($243)
Attorney Fees	$12,000	$1,000	$1,525	($525)
Management Fees	$48,148	$4,012	$4,012	$0
Website Maintenance & Hosting	$1,599	$133	$115	$19
Website	$1,377	$115	$1,686	($1,571)
Trustee Fees	$4,500	$3,125	$3,125	$0
Annual Audit	$12,000	$0	$0	$0
Postage and Freight	$4,000	$333	$518	($185)
Insurance- General Liability	$9,050	$9,050	$9,200	($150)
Printing and Binding	$2,000	$167	$60	$107
Legal Advertising	$1,200	$100	$0	$100
Tax Collector Fees	$6,479	$540	$0	$540
Contingency	$1,000	$83	$0	$83
Office Supplies	$450	$38	$21	$17
Meeting Room Rental	$1,200	$100	$254	($154)
Dues & Licenses	$175	$0	$0	$0
Total Administrative	**$135,117**	**$26,545**	**$28,026**	**($1,481)**
Field Expenditures				
Professional Services	$18,000	$1,500	$1,500	$0
Landscape Maintenance	$100,000	$8,333	$7,946	$387
Preserve Management	$10,000	$833	$0	$833
Repairs & Maintenance	$20,000	$1,667	$876	$791
Insurance- Property & Casualty	$22,000	$22,000	$19,293	$2,707
Sidewalk Repair	$12,000	$1,000	$0	$1,000
Contingency	$3,000	$250	$0	$250
Total Field	**$185,000**	**$35,583**	**$29,615**	**$5,968**
Total Expenditures	**$320,117**	**$62,128**	**$57,641**	**$4,487**
Excess Revenue/(Expenditures)	**$0**		**($56,147)**	
Beginning Fund Balance	**$0**		**$522,359**	
Ending Fund Balance	**$0**		**$466,211**	

Palm Coast Park
Community Development District
General Fund- Sawmill Subdivision
Statement of Revenues & Expenditures
For Period Ending October 31, 2025

	Adopted Budget	Prorated Budget 10/31/25	Actual 10/31/25	Variance
Revenues				
Operations and Maintenance Assessments- Tax Roll	$583,401	$0	$0	$0
Miscellaneous Income	$0	$0	$0	$0
Total Revenues	**$583,401**	**$0**	**$0**	**$0**
Administrative Expenditures				
Tax Collector Fees	$14,720	$1,227	$0	$1,227
Arbitrage	$1,800	$150	$0	$150
Trustee Fees	$13,500	$7,590	$7,590	$0
Dissemination Agent	$9,111	$1,676	$1,676	$0
Postage and Freight	$1,500	$125	$0	$125
Attorney Fees	$3,000	$250	$0	$250
Other Current Charges	$750	$63	$0	$63
Total Administrative	**$44,381**	**$11,080**	**$9,266**	**$1,814**
Field Expenditures				
Professional Fees	$21,600	$1,800	$1,800	$0
Landscape Maintenance	$282,000	$23,500	$21,764	$1,736
Electricity- Streetlights	$52,000	$4,333	$2,756	$1,577
Electricity- Irrigation/Signs	$3,000	$250	$63	$187
Utility- Irrigation	$58,550	$4,879	$1,408	$3,471
R&M- Signage	$2,000	$167	$0	$167
R&M Storm Water- Pond	$45,800	$3,817	$3,461	$356
Insurance-Property & Casualty	$5,000	$0	$0	$0
Repairs and Maintenance	$12,500	$1,042	$0	$1,042
Contingency	$15,000	$1,250	$0	$1,250
Interfund Transfer Out	$0	$0	$0	$0
Total Field	**$497,450**	**$41,038**	**$31,253**	**$9,785**
Reserves				
Roadway Reserves	$41,570	$0	$0	$0
Total Reserves	**$41,570**	**$0**	**$0**	**$0**
Total Expenditures	**$583,401**	**$52,118**	**$40,519**	**$11,599**
Excess Revenue/(Expenditures)	**$0**		**($40,519)**	
Beginning Fund Balance	**$0**		**$228,197**	
Ending Fund Balance	**$0**		**$187,678**	

Palm Coast Park
Community Development District
General Fund- Spring Lake Reverie
Statement of Revenues & Expenditures
For Period Ending October 31, 2025

	Adopted Budget	Prorated Budget 10/31/25	Actual 10/31/25	Variance
Revenues				
Operations and Maintenance Assessments- Tax Roll	$460,601	$0	$0	$0
Developer Contributions	$0	$0	$0	$0
Miscellaneous Income	$0	$0	$0	$0
Total Revenues	**$460,601**	**$0**	**$0**	**$0**
Administrative Expenditures				
Tax Collector Fees	$7,812	$651	$0	$651
Arbitrage	$600	$50	$0	$50
Trustee Fees	$4,500	$1,010	$1,010	$0
Dissemination Agent	$2,704	$225	$225	$0
Postage and Freight	$750	$63	$0	$63
Attorney Fees	$1,000	$83	$0	$83
Other Current Charges	$250	$21	$0	$21
Total Administrative	**$17,616**	**$2,103**	**$1,235**	**$868**
Field Expenditures				
Professional Fees	$7,200	$600	$600	$0
Landscape Maintenance	$212,000	$17,667	$11,667	$6,000
Electricity- Streetlights	$62,000	$5,167	$0	$5,167
Electricity- Irrigation/Signs	$1,000	$83	$0	$83
Utility- Irrigation	$35,000	$2,917	$3,050	($133)
R&M- Signage	$1,000	$83	$0	$83
R&M Storm Water- Pond	$15,600	$1,300	$1,313	($13)
Insurance-Property & Casualty	$12,500	$0	$0	$0
Repairs and Maintenance	$7,500	$625	$0	$625
Contingency	$5,000	$417	$0	$417
Stormwater Fee	$46,185	$3,849	$0	$3,849
Total Field	**$404,985**	**$32,707**	**$16,630**	**$16,077**
Reserves				
Roadway Reserves	$38,000	$0	$0	$0
Total Reserves	**$38,000**	**$0**	**$0**	**$0**
Total Expenditures	**$460,601**	**$34,810**	**$17,866**	**$16,945**
Excess Revenue/(Expenditures)	**$0**		**($17,866)**	
Beginning Fund Balance	**$0**		**$150,344**	
Ending Fund Balance	**$0**		**$132,478**	

Palm Coast Park
Community Development District
General Fund- Somerset
Statement of Revenues & Expenditures
For Period Ending October 31, 2025

	Adopted Budget	Prorated Budget 10/31/25	Actual 10/31/25	Variance
Revenues				
Operations and Maintenance Assessments- Tax Roll	$189,753	$0	$0	$0
Developer Contributions	$22,717	$0	$0	$0
Total Revenues	**$212,470**	**$0**	**$0**	**$0**
Administrative Expenditures				
Tax Collector Fees	$1,817	$1,817	$0	$1,817
Arbitrage	$600	$50	$0	$50
Trustee Fees	$4,500	$3,547	$3,547	$0
Dissemination Agent	$2,704	$225	$225	($0)
Postage and Freight	$750	$63	$0	$63
Attorney Fees	$1,000	$83	$0	$83
Other Current Charges	$250	$21	$0	$21
Total Administrative	**$11,620**	**$5,805**	**$3,772**	**$2,033**
Field Expenditures				
Professional Fees	$7,200	$600	$600	$0
Landscape Maintenance	$80,000	$6,667	$4,781	$1,885
Electricity- Streetlights	$8,000	$667	$787	($120)
Electricity- Irrigation/Signs	$12,000	$1,000	$117	$883
Electricity - Fountain	$5,000	$417	$28	$389
Utility- Irrigation	$26,350	$2,196	$966	$1,230
R&M- Signage	$1,000	$83	$0	$83
R&M Storm Water- Pond	$8,000	$667	$445	$221
Insurance-Property & Casualty	$5,000	$0	$0	$0
Repairs and Maintenance	$5,000	$417	$1,625	($1,208)
Contingency	$5,000	$417	$0	$417
Stormwater Fee	$23,300	$1,942	$0	$1,942
Total Field	**$185,850**	**$15,071**	**$9,349**	**$5,722**
Reserves				
Roadway Reserves	$15,000	$0	$0	$0
Total Reserves	**$15,000**	**$0**	**$0**	**$0**
Total Expenditures	**$212,470**	**$20,876**	**$13,121**	**$7,755**
Excess Revenue/(Expenditures)	**$0**		**($13,121)**	
Beginning Fund Balance	**$0**		**$12,639**	
Ending Fund Balance	**$0**		**($482)**	

Palm Coast Park

Community Development District

Debt Service Fund Series 2006
Statement of Revenues & Expenditures
For Period Ending October 31, 2025

	Adopted Budget	Prorated Budget 10/31/25	Actual 10/31/25	Variance
Revenues				
Special Assessments- Tax Roll	$1,744,538	$0	$0	$0
Special Assessments- Off Roll	$0	$0	$0	$0
Special Assessments- Prepayment	$0	$0	$0	$0
Interest Income	$12,500	$1,042	$6,302	$5,260
Total Revenues	**$1,757,038**	**$1,042**	**$6,302**	**$5,260**
Expenditures				
Tax Collector	$36,345	$0	$0	$0
Interfund Transfer Out	$7,000	$583	$3,775	($3,192)
Series 2006				
Interest-11/1	$432,630	$0	$0	$0
Principal-5/1	$910,000	$0	$0	$0
Interest-5/1	$432,630	$0	$0	$0
Total Expenditures	**$1,818,605**	**$583**	**$3,775**	**($3,192)**
Excess Revenues/(Expenditures)	**($61,567)**		**$2,526**	
Beginning Fund Balance	**$883,003**		**$1,866,980**	
Ending Fund Balance	**$821,436**		**$1,869,507**	

Due From General	----
Reserve	$1,117,651
Revenue	$751,818
Prepayment	$38
Interest	----
Balance	**$1,869,507**

Palm Coast Park

Community Development District

Debt Service Fund Series 2019
Statement of Revenues & Expenditures
For Period Ending October 31, 2025

	Adopted Budget	Prorated Budget 10/31/25	Actual 10/31/25	Variance
Revenues				
Special Assessments- Tax Roll	$200,861	$0	$0	$0
Interest Income	$6,254	$521	$813	$292
Total Revenues	**$207,115**	**$521**	**$813**	**$292**
Expenditures				
Tax Collector	$4,185	$0	$0	$0
Interfund Transfer Out	$3,622	$302	$492	($190)
Series 2019				
Interest-11/1	$75,250	$0	$0	$0
Principal-5/1	$45,000	$0	$0	$0
Interest-5/1	$75,250	$0	$0	$0
Total Expenditures	**$203,307**	**$302**	**$492**	**($190)**
Excess Revenues/(Expenditures)	**$3,808**		**$321**	
Beginning Fund Balance	**$95,718**		**$240,865**	
Ending Fund Balance	**$99,526**		**$241,186**	

Due From General	----
Reserve	$145,530
Revenue	$95,656
Balance	**$241,186**

Palm Coast Park

Community Development District

Debt Service Fund Series 2021
Statement of Revenues & Expenditures
For Period Ending October 31, 2025

	Adopted Budget	Prorated Budget 10/31/25	Actual 10/31/25	Variance
Revenues				
Special Assessments-Tax Roll	$405,218	$0	$0	$0
Interest Income	$11,620	$968	$1,490	$521
Interfund Transfer In	$0	$0	$0	$0
Total Revenues	**$416,838**	**$968**	**$1,490**	**$521**
Expenditures				
Tax Collector	$8,442	$0	$0	$0
Interfund Transfer Out	$6,753	$563	$917	($354)
Series 2021				
Interest-11/1	$140,549	$0	$0	$0
Principal-5/1	$115,000	$0	$0	$0
Interest-5/1	$140,549	$0	$0	$0
Total Expenditures	**$411,293**	**$563**	**$917**	**($354)**
Excess Revenues/(Expenditures)	**$5,545**		**$573**	
Beginning Fund Balance	**$170,607**		**$441,285**	
Ending Fund Balance	**$176,152**		**$441,857**	

Due From General	----
Reserve	$271,395
Revenue	$170,462
Cap Interest	$0
Balance	**$441,857**

Palm Coast Park

Community Development District

Debt Service Fund Series 2022
Statement of Revenues & Expenditures
For Period Ending October 31, 2025

	Adopted Budget	Prorated Budget 10/31/25	Actual 10/31/25	Variance
Revenues				
Special Assessments-Tax Roll	$820,478	$0	$0	$0
Interest Income	$15,035	$1,253	$1,770	$517
Total Revenues	**$835,513**	**$1,253**	**$1,770**	**$517**
Expenditures				
Tax Collector	$17,093	$0	$0	$0
Interfund Transfer Out	$5,015	$418	$678	($261)
Series 2022				
Interest Expense 11/1	$288,918	$0	$0	$0
Principal Expense 5/1	$230,000	$0	$0	$0
Interest Expense 5/1	$288,918	$0	$0	$0
Total Expenditures	**$829,944**	**$418**	**$678**	**($261)**
Excess Revenues/(Expenditures)	**$5,569**		**$1,091**	
Beginning Fund Balance	**$306,845**		**$524,492**	
Ending Fund Balance	**$312,414**		**$525,583**	

Due From General	----
Reserve	$200,846
Revenue	$324,737
Cap Interest	$0
Balance	**$525,583**

Palm Coast Park

Community Development District

Debt Service Fund Series 2023
Statement of Revenues & Expenditures
For Period Ending October 31, 2025

	Adopted Budget	Prorated Budget 10/31/25	Actual 10/31/25	Variance
Revenues				
Special Assessments-Tax Roll	$428,386	$0	$0	$0
Interest Income	$10,089	$841	$1,289	$449
Interfund Transfer In	$0	$0	$0	$0
Total Revenues	**$438,475**	**$841**	**$1,289**	**$449**
Expenditures				
Tax Collector	$8,925	$0	$0	$0
Interfund Transfer Out	$5,219	$435	$708	($274)
Series 2023				
Interest Expense 11/1	$160,883	$0	$0	$0
Principal Expense 5/1	$100,000	$0	$0	$0
Interest Expense 5/1	$160,883	$0	$0	$0
Total Expenditures	**$435,910**	**$435**	**$708**	**($274)**
Excess Revenues/(Expenditures)	**$2,565**		**$581**	
Beginning Fund Balance	**$173,251**		**$382,031**	
Ending Fund Balance	**$175,816**		**$382,611**	

Due From General	----
Reserve	$209,730
Revenue	$172,881
Cap Interest	----
Balance	**$382,611**

Palm Coast Park

Community Development District

Debt Service Fund Series 2024
Statement of Revenues & Expenditures
For Period Ending October 31, 2025

	Adopted Budget	Prorated Budget 10/31/25	Actual 10/31/25	Variance
Revenues				
Special Assessments-Tax Roll	$629,729	$0	$0	$0
Interest Income	$19,670	$1,639	$1,913	$274
Interfund Transfer In	$0	$0	$0	$0
Total Revenues	**$649,399**	**$1,639**	**$1,913**	**$274**
Expenditures				
Tax Collector	$13,119	$0	$0	$0
Interfund Transfer Out	$8,038	$670	$1,041	($372)
Series 2024				
Interest Expense 11/1	$238,368	$0	$0	$0
Principal Expense 5/1	$140,000	$0	$0	$0
Interest Expense 5/1	$238,368	$0	$0	$0
Total Expenditures	**$637,893**	**$670**	**$1,041**	**($372)**
Excess Revenues/(Expenditures)	**$11,506**		**$871**	
Other Financing Sources/(Uses)				
Bond Proceeds	$0	$0	$0	$0
Total Other Financing Sources/(Uses)	**$0**	**$0**	**$0**	**$0**
Net Change in Fund Balance	**$11,506**		**$871**	
Beginning Fund Balance	**$263,016**		**$566,307**	
Ending Fund Balance	**$286,028**		**$567,178**	

Due From General	$0
Reserve	$308,305
Revenue	$20,505
Interest	$238,368
Balance	**$567,178**

Palm Coast Park

Community Development District

Capital Reserve - Sawmill
Statement of Revenues & Expenditures
For Period Ending October 31, 2025

	Adopted Budget	Prorated Budget 10/31/25	Actual 10/31/25	Variance
Revenues				
Operating Transfer In	$41,570	$41,570	$119,908	$78,338
Interest Income	$1,000	$1,000	$0	($1,000)
Total Revenues	**$42,570**	**$42,570**	**$119,908**	**$77,338**
Expenditures				
Capital Outlay - Sawmill	$0	$0	$0	$0
Other Current Charges	$250	$250	$0	$250
Total Expenditures	**$250**	**$250**	**$0**	**$250**
Excess Revenues/(Expenditures)	**$42,320**		**$119,908**	
Beginning Fund Balance	**$48,900**		**$0**	
Ending Fund Balance	**$91,220**		**$119,908**	

Palm Coast Park

Community Development District

Capital Reserve - Spring Lake Reverie
Statement of Revenues & Expenditures
For Period Ending October 31, 2025

	Adopted Budget	Prorated Budget 10/31/25	Actual 10/31/25	Variance
Revenues				
Operating Transfer In	$38,000	$38,000	$87,000	$49,000
Interest Income	$1,000	$1,000	$0	($1,000)
Total Revenues	**$39,000**	**$39,000**	**$87,000**	**$48,000**
Expenditures				
Capital Outlay - SLR	$0	$0	$0	$0
Other Current Charges	$250	$250	$0	$250
Total Expenditures	**$250**	**$250**	**$0**	**$250**
Excess Revenues/(Expenditures)	**$38,750**		**$87,000**	
Beginning Fund Balance	**$35,000**		**$0**	
Ending Fund Balance	**$73,750**		**$87,000**	

Palm Coast Park

Community Development District

Capital Reserve - Somerset
Statement of Revenues & Expenditures
For Period Ending October 31, 2025

	Adopted Budget	Prorated Budget 10/31/25	Actual 10/31/25	Variance
Revenues				
Operating Transfer In	$15,000	$15,000	$7,250	($7,750)
Interest Income	$1,000	$1,000	$0	($1,000)
Total Revenues	**$16,000**	**$16,000**	**$7,250**	**($8,750)**
Expenditures				
Capital Outlay - Somerset	$0	$0	$0	$0
Other Current Charges	$250	$250	$0	$250
Total Expenditures	**$250**	**$250**	**$0**	**$250**
Excess Revenues/(Expenditures)	**$15,750**		**$7,250**	
Beginning Fund Balance	**$16,260**		**$0**	
Ending Fund Balance	**$32,010**		**$7,250**	

Community Development District
Capital Projects Fund
Statement of Revenues & Expenditures
For Period Ending October 31, 2025

	Series 2006	Series 2019	Series 2021	Series 2022	Series 2023	Series 2024
Revenues						
Interest Income	$8,687	$84	$130	$33	$107	$211
Interfund Transfer In	$3,775	$492	$917	$678	$708	$1,041
Impact Fees	$0	$0	$0	$0	$0	$0
Bond Proceeds	$0	$0	$0	$0	$0	$0
Bond Premium	$0	$0	$0	$0	$0	$0
Total Revenues	**$12,463**	**$576**	**$1,047**	**$711**	**$816**	**$1,252**
Expenditures						
Capital Outlay	$0	$0	$0	$0	$0	$0
Interfund Transfer Out	$0	$0	$0	$0	$0	$0
Cost of Issuance	$0	$0	$0	$0	$0	$0
Underwriters Discount	$0	$0	$0	$0	$0	$0
Total Expenditures	**$0**	**$0**	**$0**	**$0**	**$0**	**$0**
Excess Revenues/(Expenditures)	**$12,463**	**$576**	**$1,047**	**$711**	**$816**	**$1,252**
Beginning Fund Balance	**$2,572,705**	**$25,029**	**$38,568**	**$9,786**	**$31,790**	**$62,544**
Ending Fund Balance	**$2,585,168**	**$25,605**	**$39,615**	**$10,497**	**$32,606**	**$63,796**

Palm Coast Park CDD
General Fund
Month to Month

	October	November	December	January	February	March	April	May	June	July	August	September	Total
Revenues													
Operations and Maintenance Assessments- Tax Roll	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Assessments - Direct	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Interest Earnings	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Interest Earnings - SBA	$1,494	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 1,494
Miscellaneous Income	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Total Revenues	$1,494	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 1,494
Administrative Expenditures													
Supervisors Fees	$600	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 600
FICA Taxes	$46	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 46
Arbitrage	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Dissemination Agent	$225	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 225
Assessmnet Administration	$5,732	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 5,732
Engineering	$908	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 908
Attorney Fees	$1,525	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 1,525
Management Fees	$4,012	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 4,012
Website Maintenance & Hosting	$115	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 115
Website	$1,686	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 1,686
Trustee Fees	$3,125	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 3,125
Annual Audit	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Postage and Freight	$518	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 518
Insurance- General Liability	$9,200	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 9,200
Printing and Binding	$60	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 60
Legal Advertising	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Tax Collector Fees	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Contingency	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Office Supplies	$21	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 21
Meeting Room Rental	$254	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 254
Dues & Licenses	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Total Administrative	$28,026	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 28,026
Field Expenditures													
Professional Services	$1,500	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 1,500
Landscape Maintenance	$7,946	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 7,946
Preserve Management	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Repairs & Maintenance	$876	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 876
Insurance- Property & Casualty	$19,293	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 19,293
Sidewalk Repair	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Contingency	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Total Field	$29,615	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 29,615
Total Expenditures	$57,641	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 57,641
Excess Revenue/(Expenditures)	**($56,147)**	**$0**	**$0**	**$0**	**$0**	**$0**	**$0**	**$0**	**$0**	**$0**	**$0**	**$0**	**$ (56,147)**

Palm Coast Park CDD
General Fund- Sawmill Creek
Month to Month

	October	November	December	January	February	March	April	May	June	July	August	September	Total
Revenues													
Operations and Maintenance Assessments- Tax Roll	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Developer Contributions - Phase 7	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Miscellaneous Income and Discounts	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Total Revenues	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Administrative Expenditures													
Tax Collector Fees	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Arbitrage	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Trustee Fees	$7,590	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 7,590
Dissemination Agent	$1,676	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 1,676
Postage and Freight	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Attorney Fees	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Other Current Charges	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Total Administrative	$9,266	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 9,266
Field Expenditures													
Professional Fees	$1,800	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 1,800
Landscape Maintenance	$21,764	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 21,764
Electricity- Streetlights	$2,756	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 2,756
Electricity- Irrigation/Signs	$63	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 63
Utility- Irrigation	$1,408	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 1,408
R&M- Signage	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
R&M Storm Water- Pond	$3,461	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 3,461
Insurance-Property & Casualty	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Repairs and Maintenance	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Contingency	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Interfund Transfer Out	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Total Field	$31,253	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 31,253
Reserves													
Roadway Reserves	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Total Reserves	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Total Expenditures	$40,519	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 40,519
Excess Revenue/(Expenditures)	**($40,519)**	**$0**	**$0**	**$0**	**$0**	**$0**	**$0**	**$0**	**$0**	**$0**	**$0**	**$0**	**$ (40,519)**

Palm Coast Park CDD
General Fund- Spring Lake Reverie
Month to Month

	October	November	December	January	February	March	April	May	June	July	August	September	Total
Revenues													
Operations and Maintenance Assessments- Tax Roll	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Developer Contributions	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Miscellaneous Income	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Total Revenues	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Administrative Expenditures													
Tax Collector Fees	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Arbitrage	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Trustee Fees	$1,010	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 1,010
Dissemination Agent	$225	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 225
Postage and Freight	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Attorney Fees	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Other Current Charges	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Total Administrative	$1,235	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 1,235
Field Expenditures													
Professional Fees	$600	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 600
Landscape Maintenance	$11,667	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 11,667
Electricity- Streetlights	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Electricity- Irrigation/Signs	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Utility- Irrigation	$3,050	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 3,050
R&M- Signage	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
R&M Storm Water- Pond	$1,313	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 1,313
Insurance-Property & Casualty	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Repairs and Maintenance	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Contingency	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Total Field	$16,630	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 16,630
Reserves													
Roadway Reserves	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Total Reserves	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Total Expenditures	$17,866	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 17,866
Excess Revenue/(Expenditures)	**($17,866)**	**$0**	**$0**	**$0**	**$0**	**$0**	**$0**	**$0**	**$0**	**$0**	**$0**	**$0**	**$ (17,866)**

Palm Coast Park CDD
General Fund- Somerset
Month to Month

	October	November	December	January	February	March	April	May	June	July	August	September	Total
Revenues													
Operations and Maintenance Assessments- Tax Roll	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Developer Contributions	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Miscellaneous Income	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Total Revenues	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Administrative Expenditures													
Tax Collector Fees	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Arbitrage	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Trustee Fees	$3,547	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 3,547
Dissemination Agent	$225	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 225
Postage and Freight	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Attorney Fees	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Other Current Charges	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Total Administrative	$3,772	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 3,772
Field Expenditures													
Professional Fees	$600	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 600
Landscape Maintenance	$4,781	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 4,781
Electricity- Streetlights	$787	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 787
Electricity- Irrigation/Signs	$117	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 117
Electricity - Fountain	$28	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 28
Utility- Irrigation	$966	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 966
R&M- Signage	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
R&M Storm Water- Pond	$445	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 445
Insurance-Property & Casualty	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Repairs and Maintenance	$1,625	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 1,625
Contingency	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Total Field	$9,349	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 9,349
Reserves													
Roadway Reserves	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Total Reserves	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ -
Total Expenditures	$13,121	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0	$ 13,121
Excess Revenue/(Expenditures)	**($13,121)**	**$0**	**$0**	**$0**	**$0**	**$0**	**$0**	**$0**	**$0**	**$0**	**$0**	**$0**	**$ (13,121)**

Palm Coast Park

Community Development District

Long Term Debt Report

Series 2006 Special Assessment Bonds		
Interest Rate:		5.70%
Maturity Date:		5/1/37
Reserve Fund Definition:		6.966 % Outstanding
Reserve Fund Requirement:	$	1,057,439
Reserve Fund Balance:	$	1,117,651
Bonds Outstanding- 6/30/2015	$	31,780,000
Less: May 1, 2008 (Mandatory)	$	(410,000)
Less: May 1, 2009 (Mandatory)	$	(435,000)
Less: May 1, 2010 (Mandatory)	$	(460,000)
Less: May 1, 2011 (Mandatory)	$	(490,000)
Less: May 1, 2012 (Mandatory)	$	(515,000)
Less: May 1, 2013 (Mandatory)	$	(545,000)
Less: May 1, 2014 (Mandatory)	$	(580,000)
Less: May 1, 2015 (Mandatory)	$	(615,000)
Less: May 1, 2016 (Mandatory)	$	(650,000)
Less: May 1, 2017 (Mandatory)	$	(685,000)
Less: May 1, 2018 (Mandatory)	$	(730,000)
Less: May 1, 2019 (Mandatory)	$	(770,000)
Less: May 1, 2020 (Mandatory)	$	(815,000)
Less: May 1, 2021 (Mandatory)	$	(865,000)
Less: May 1, 2022 (Mandatory)	$	(915,000)
Less: November 1, 2022 (Special Call)	$	(1,790,000)
Less: May 1, 2023 (Mandatory)	$	(890,000)
Less: November 1, 2022 (Special Call)	$	(5,000)
Less: November 1, 2023 (Special Call)	$	(1,355,000)
Less: May 1, 2024 (Mandatory)	$	(940,000)
Less: May 1, 2024 (Special Call)	$	(15,000)
Less: November 1, 2024 (Special Call)	$	(1,255,000)
Less: May 1, 2025 (Mandatory)	$	(860,000)
Less: May 1, 2025 (Special Call)	$	(10,000)
Current Bonds Outstanding	$	15,180,000

Series 2019 Special Assessment Bonds		
Interest Rate:		3.4% - 4.3%
Maturity Date:		5/1/50
Reserve Fund Definition:		50% MADS
Reserve Fund Requirement:	$	145,564
Reserve Fund Balance:	$	145,530
Bonds Outstanding- 12/04/19	$	3,770,000
Less: May 1, 2021 (Mandatory)	$	(40,000)
Less: May 1, 2022 (Mandatory)	$	(40,000)
Less: May 1, 2023 (Mandatory)	$	(40,000)
Less: May 1, 2024 (Mandatory)	$	(40,000)
Less: May 1, 2025 (Mandatory)	$	(45,000)
Current Bonds Outstanding	$	3,565,000

Palm Coast Park

Community Development District

Long Term Debt Report

Series 2021 Special Assessment Bonds- Spring Lake Tracts 2 & 3	
Interest Rate:	2.4-4.0%
Maturity Date:	5/1/52
Reserve Fund Definition:	50% MADS
Reserve Fund Requirement:	$ 271,395
Reserve Fund Balance:	$ 271,395
Bonds Outstanding- 12/23/2021	$ 8,065,000
Less: May 1, 2023 (Mandatory)	$ (105,000)
Less: May 1, 2024 (Mandatory)	$ (110,000)
Less: May 1, 2025 (Mandatory)	$ (110,000)
Current Bonds Outstanding	$ 7,740,000

Series 2022 Special Assessment Bonds- Sawmill Branch Phase 2	
Interest Rate:	4.15-5.125%
Maturity Date:	5/1/51
Reserve Fund Definition:	50% MADS
Reserve Fund Requirement:	$ 200,846
Reserve Fund Balance:	$ 200,846
Bonds Outstanding- 6/10/2022	$ 12,225,000
Less: May 1, 2023 (Mandatory)	$ (200,000)
Less: May 1, 2024 (Mandatory)	$ (210,000)
Less: May 1, 2025 (Mandatory)	$ (220,000)
Current Bonds Outstanding	$ 11,595,000

Series 2023 Special Assessment Bonds- Somerset	
Interest Rate:	4.7-5.6%
Maturity Date:	5/1/53
Reserve Fund Definition:	50% MADS
Reserve Fund Requirement:	$ 209,730
Reserve Fund Balance:	$ 209,730
Bonds Outstanding- 7/13/23	$ 6,145,000
Less: May 1, 2024 (Mandatory)	$ (90,000)
Less: May 1, 2025 (Mandatory)	$ (95,000)
Current Bonds Outstanding	$ 5,960,000

Series 2024 Special Assessment Bonds- Sawmill Branch - Phase 7	
Interest Rate:	4.375-5.33%
Maturity Date:	5/1/55
Reserve Fund Definition:	50% MADS
Reserve Fund Requirement:	$ 308,305
Reserve Fund Balance:	$ 308,305
Bonds Outstanding- 8/08/24	$ 9,345,000
Current Bonds Outstanding	$ 9,345,000