

**EXECUTIVE SUMMARY:  
FEASIBILITY REVIEW OF AAC PROPOSAL**

Oak Park District 97 has engaged STR Partners to compile a report describing through schematic sketches and cost estimating the various proposed solutions found in the Accessibility Advisory Committee (AAC) Proposal dated June 11, 2013. This report excludes Julian, Brooks, and Holmes.

Since STR submitted the report for Initial Board Review and FAC discussion on November 8, 2013, revisions have been made. We have provided you with a supplement packet including the following updated information:

1. Revised Schematic Design Estimate Summary
2. Revised Estimates for items BE1, BE2, HA3, LO1, LO2, LO3, MA3 (revisions shown in blue)
3. Revised plans for Hatch 2<sup>nd</sup> and 3<sup>rd</sup> floors
4. Revised plan for Longfellow 2<sup>nd</sup> floor
5. Revised Summary documents for Mann

The following is a summary of the FAC discussion related to this report.

**A) TOTAL PROJECT COST**

FAC requested a Total Project Cost Estimate in lieu of a Total Construction Cost Estimate. This requires us to include the Architectural and Engineering Fees (contingency, General Conditions and Contractor Overhead and Profit were already included in the estimates). Therefore, we have added to the summary sheet our fees based on performing all projects listed per school. We have shown the fees in this way because our services for the majority of items would be on an hourly or proposal basis per our contract with D97, and therefore difficult to quantify at this time.

**B) REQUIRED WORK**

FAC requested that STR Partners confirm if there are items that are required to be implemented. There are items that are life safety issues and action is required. We have highlighted these projects on the attached revised estimate summary sheet. These involve a condition where an accessible egress exit or area of refuge in an accessible area does not currently exist but should. These projects are as follows:

BE1:	Create an Area of Rescue Assistance at the First Floor SE Stairwell	\$341,153
IR1:	Provide an Accessible Egress Exit Ramp at Multi-Purpose Room	\$47,068
MA2:	Provide an Accessible Egress Exit Ramp at Multi-Purpose Room	\$27,061
WH1:	Provide Accessible Ramp for Ingress to and Exit from Cafeteria – Option 1	\$54,720
WH1:	<i>Provide Accessible Ramp for Ingress to and Exit from Cafeteria – Option 2</i>	<i>\$232,878</i>

If D97 chose to proceed with only these specific projects, the following Estimated Total Project Costs could be anticipated:

All items above excluding WH1-Option 2:	\$470,002 + 8.75% fee = \$511,130
All items above excluding WH1-Option 1:	\$648,160 + 8.75% fee = \$704,874

**C) RECOMMENDED WORK**

STR Partners understands that the AAC explored the remaining options with the intent of providing nearly, if not completely, accessible facilities. This involves installing elevators, installing ramps in corridors, and providing platform lifts to various stages. These projects are not code required given the age of the facilities. These options are a study into making entire facilities accessible to all users.

Once these elements are introduced, entire floor areas become accessible that were not previously. Consequently, a comprehensive look at the accessibility of various elements is required. These include door openings, toilet room stalls and lavatories, and drinking fountains. We recommend further discussion to determine the overall District policy and accessibility goals in addressing these elements, as the conditions vary within each school as well as between buildings.

**D) Lincoln Elementary Auditorium and Stage Access:**

STR took a holistic approach to resolving access issues to the auditorium and the stage. Therefore, it provides a small addition including a ramped corridor to the auditorium level and access up to the stage. The estimated construction cost for this option is approximately \$500,000.

However, the District may also explore providing various platform lifts to provide access to the auditorium and then to the stage.

**END OF EXECUTIVE SUMMARY**

# SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations  
SUMMARY

FOR INITIAL BOARD REVIEW

**STR** CONSULTING

350 West Ontario Street, Suite 200  
Chicago, Illinois 60654

Client: Oak Park District 97  
Architect: STR Partners # 13160

November 11, 2013

No.	Description	Quantity	Unit	Unit Price	Amount	Total
<b>SUMMARY</b>						
<b>BEYE ELEMENTARY SCHOOL</b>						
BE1*	ADA Ramp Addition at Southwest Entry Stairwell				\$341,153	
BE2*	Create Area of Rescue Assistance at First Floor SE Entry Stairwell.				\$35,937	
BE3	Install an Elevator Addition for ADA Access				\$584,520	
BE4	Create Two Areas of Rescue Assistance at Second Floor North Stairs.				\$33,425	
BE5	Create Three Areas of Rescue Assistance at Third Floor.				\$28,354	
BE6	ADA Door Clearance Issues for accessibility				TBD	
BE7	Provide ADA accessible toilet stalls				TBD	
	Subtotal Beye Estimated Construction Cost					\$1,023,389
	A/E Fees				8.75%	\$89,547
<b>HATCH ELEMENTARY SCHOOL</b>						
HA1	Install a Wheel Chair Lift at Stage				\$59,478	
HA2	Install an Elevator Addition for ADA Access				\$396,852	
HA3	Create Four Areas of Rescue Assistance at Second and Third Floors				\$26,984	
	Subtotal Hatch Estimated Construction Cost					\$483,314
	A/E Fees				8.75%	\$42,290
<b>IRVING ELEMENTARY SCHOOL</b>						
IR1*	Provide ADA Ramp at Multipurpose Room				\$47,068	
	Subtotal Irving Estimated Construction Cost					\$47,068
	A/E Fees				By Proposal or Hourly	TBD
<b>LINCOLN ELEMENTARY SCHOOL</b>						
LI1	ADA Access Ramp to Auditorium.				\$562,768	
LI2	Provide ADA Access to Stage				Included in LI1	
LI3	Remove Stairs and Provide ADA Ramp at Second Floor Corridor				\$62,463	
	Subtotal Lincoln Estimated Construction Cost					\$625,231
	A/E Fees				8.75%	\$54,708
<b>LONGFELLOW ELEMENTARY SCHOOL</b>						
LO1	Install an Elevator Addition for ADA Access				\$838,246	
LO2	Remove Stairs and Provide ADA Ramps at Second Floor Corridor				\$47,070	
LO3	Create Six Areas of Rescue Assistance at Second and Third Floors				\$26,443	
LO4	Reconfigure Room Entries to be IAC Compliant				TBD	
LO5	Reconfigure Toilet Room to add IAC Toilet Stall				TBD	
	Subtotal Longfellow Estimated Construction Cost					\$911,759
	A/E Fees				8.75%	\$79,779
<b>MANN ELEMENTARY SCHOOL</b>						
MA1	Install a Wheel Chair Lift at Stage				\$74,682	
MA2*	ADA Exit Ramp at Cafeteria #118				\$27,061	
MA3	Install an Elevator Addition for ADA Access				\$859,985	
MA4	Create Four Areas of Rescue Assistance on the Second and Third Floors				\$23,772	
MA5	Reconfigure Room Entries to be IAC Compliant				TBD	
MA6	Reconfigure Toilet Room to add IAC Toilet Stall				TBD	
	Subtotal Mann Estimated Construction Cost					\$985,499
	A/E Fees				8.75%	\$86,231
<b>WHITTIER ELEMENTARY SCHOOL</b>						
WH1*	Option One Interior ADA Access Ramp to Multipurpose Room				\$54,720	
WH2	Install an Elevator Addition for ADA Access				\$429,642	
WH3	Remove Two Stairs and Provide Three ADA Ramps at First & Second Floors				\$164,299	
WH4	Create Six Areas of Rescue Assistance at Second and Third Floor Stairwells				\$87,732	
WH5	Reconfigure Room Entries to be IAC Compliant				TBD	
WH6	Reconfigure Toilet Room to add IAC Toilet Stall				TBD	
	Subtotal Whittier Estimated Construction Cost					\$736,393
	A/E Fees				8.75%	\$64,434
<b>TOTAL ESTIMATED PROJECT COST</b>						
						\$5,229,642
WH1*	Option Two - Addition with ADA Access Ramp to Multipurpose Room				\$232,878	
<p><i>Estimates above exclude Legal, Utility, Surveyor, Geotechnical, Environmental, and Abatement fees; Reimbursables are not included. There is no escalation factor included.</i></p> <p><i>*Note: Highlighted items are Life Safety issues related to accessible egress exiting that should be implemented.</i></p>						

# SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations  
Beye Elementary School

FOR INITIAL BOARD REVIEW

**STR** CONSULTING

350 West Ontario Street, Suite 200  
Chicago, Illinois 60654

Client: Oak Park District 97  
Architect: STR Partners # 13160

November 11, 2013

No.	Description	Quantity	Unit	Unit Price	Amount	Total
<b>BE1</b>	<b>ADA Ramp Addition at Southwest Entry Stairwell</b>					
A.	Site Work					
1	Remove sidewalks	1	allow	\$1,840	\$1,840	
2	Remove exterior limestone stairs	1	allow	\$3,680	\$3,680	
3	Remove wall mounted lights, plaques, & devices	4	hours	\$90.00	\$360	
4	Remove landscaping	1	allow	\$760	\$760	
B.	Selective Demolition					
1	Demo walls	4	hours	\$90.00	\$360	
2	Remove door under stairway	1	each	\$90.00	\$90	
3	Remove exterior pair of doors	1	allow	\$180.00	\$180	
4	Demo interior stairway & partitons	1	allow	\$3,380	\$3,380	
5	Remove SOG	320	s.f.	\$5.00	\$1,600	
5	Remove debris from Building	8	m.h.	\$92.00	\$736	
6	Dumpsters	4	each	\$500.00	\$2,000	
C.	Protection					
1	Barricade and fencing	200	l.f.	\$10.00	\$2,000	
2	Maintenance and removal of protection	40	hours	\$90.00	\$3,600	
D.	Excavation and Concrete					
1	Clean and compact foot print	500	s.f.	\$2.00	\$1,000	
2	Excavation for footing	64	c.y.	\$20.00	\$1,280	
3	Disposal of debris	3	loads	\$500.00	\$1,500	
4	Footing	8	c.y.	\$250.00	\$2,083	
5	Foundation 12" thick	11	c.y.	\$400.00	\$4,267	
6	Slab on grade	1,200	s.f.	\$5.00	\$6,000	
7	Ramp interior footing & foundation	80	l.f.	\$125.00	\$10,000	
8	Ramp slab	295	s.f.	\$8.00	\$2,360	
9	Concrete fill in metal pan stairs	1	allow	\$1,200.00	\$1,200	
D.	Masonry					
1	Salvage existing stone lintel for re-use	8	hours	\$90.00	\$720	
2	Enlarge entry opening & install stone lintel					
	a. Temporary shoring allowance	1	allow	\$1,220	\$1,220	
	b. Masonry (2 masons for 4 days)	64	hours	\$92.00	\$5,888	
	c. Laborers	32	hours	\$90.00	\$2,880	
	d. Steel lintel	12	l.f.	\$150.00	\$1,800	
	e. Mason material allowance	1	allow	\$1,500.00	\$1,500	
2	Exterior brick cavity walls - Bearing	1,440	s.f.	\$50.00	\$72,000	
	a. Allowance for ornamental masonry	10%		\$72,000	\$7,200	
3	New 8" CMU walls in addition	225	s.f.	\$14.00	\$3,150	
E.	Roof structure	390	s.f.	\$25.00	\$9,750	
F.	Roofing					
1	Single ply roof with insulation	390	s.f.	\$18.00	\$7,020	
2	Connection to existing building	33	l.f.	\$65.00	\$2,145	

**SCHEMATIC DESIGN ESTIMATE**

District Accessibility Renovations  
 Beye Elementary School

**STR CONSULTING**  
 350 West Ontario Street, Suite 200  
 Chicago, Illinois 60654

**FOR INITIAL BOARD REVIEW**

Client: Oak Park District 97  
 Architect: STR Partners # 13160

November 11, 2013

No.	Description	Quantity	Unit	Unit Price	Amount	Total
<b>BE1 ADA Ramp Addition at Southwest Entry Stairwell</b>						
G. Windows and Doors						
1	New storefront & pair of doors	1	each	\$3,500.00	\$3,500	
2	New exterior windows	4	each	\$984.00	\$3,936	
H. Interior Construction						
1	Rated drywall partitions				None	
2	Sills and trim at exterior window	4	each	\$480.00	\$1,920	
3	Allowance to patch existing walls	1	location	\$820.00	\$820	
5	2x4 ACT ceiling	710	s.f.	\$3.75	\$2,663	
I. Miscellaneous Metals						
1	Free standing	70	l.f.	\$225.00	\$15,750	
2	Wall mounted	60	l.f.	\$75.00	\$4,500	
3	Metal pan stair & rail to second floor	1	each	\$12,000	\$9,000	
J. Painting						
1	Allowance for painting rails	1	allow	\$820.00	\$820	
2	Clean existing brick walls	1,320	s.f.	\$2.00	\$2,640	
4	Paint CMU walls	1,056	s.f.	\$1.10	\$1,162	
6	Miscellaneous painting & chalking	1	allow	\$800.00	\$800	
K. HVAC						
1	Roof Top Zoned System	710	s.f.	\$25.00	\$17,750	
2	Exhaust system	1	allow	\$1,500.00	\$1,500	
L. Electrical						
1	Exit sign	4	each	\$500.00	\$2,000	
2	Lighting	710	s.f.	\$6.00	\$4,260	
3	FA devices (pulls, horn & strobes)	2	allow	\$1,260.00	\$2,520	
4	Outlets and power	1	allow	\$2,020.00	\$2,020	
M. Plumbing						
1	Roof drains and downspouts	2	each	\$800.00	\$1,600	
N. Restore paving and site						
1		1	allow	\$5,000.00	\$5,000	
Subtotal Construction						\$249,709
O. General Requirements						
1	General Conditions	15%		\$249,709	\$37,456	
2	Contractor Overhead and Profit	8%		\$287,165	\$22,973	
3	Contingency	10%		\$310,139	\$31,014	
<b>Total Estimated Budget</b>						<b>\$341,153</b>

# SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations  
Beye Elementary School

FOR INITIAL BOARD REVIEW

**STR** CONSULTING

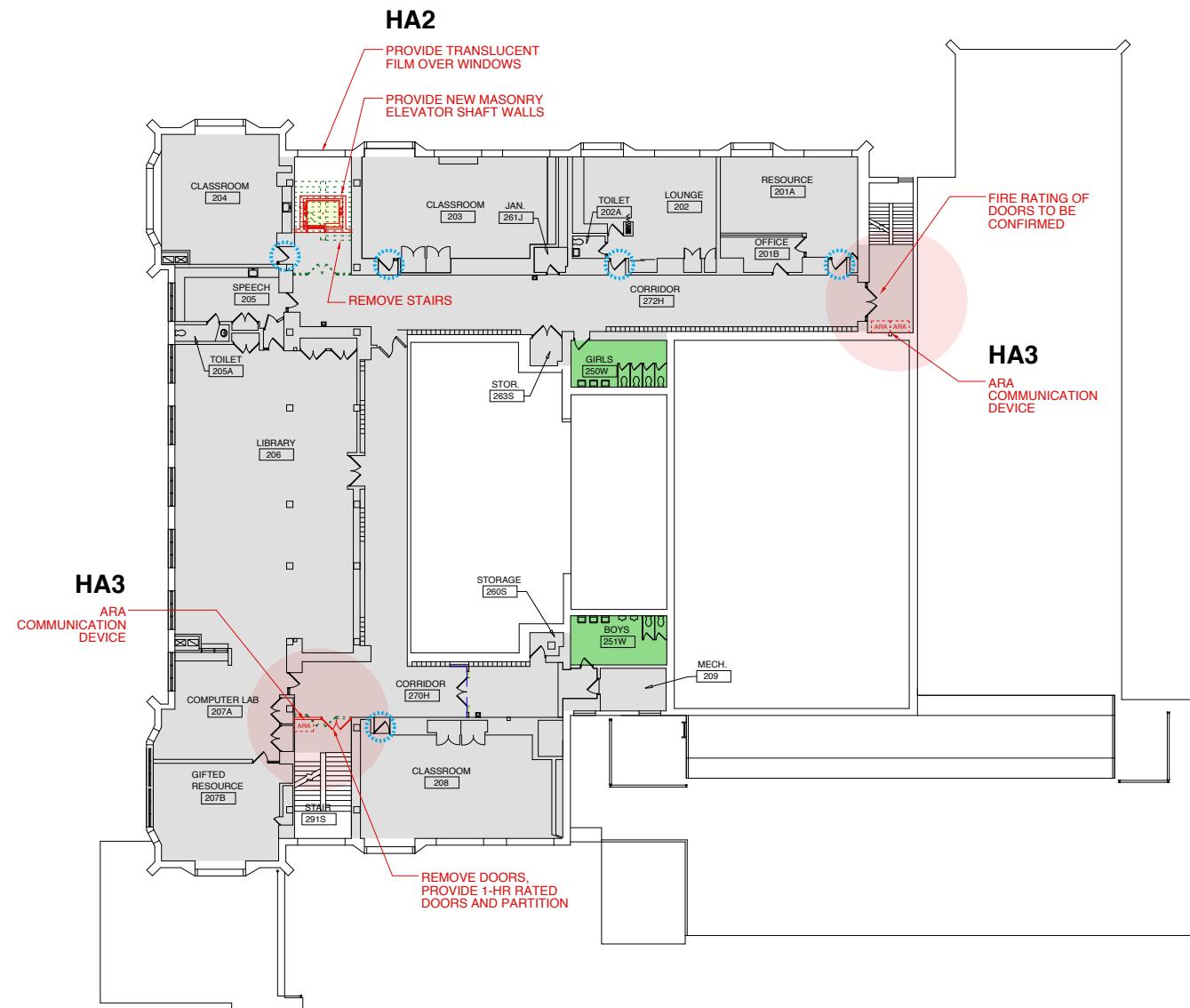
350 West Ontario Street, Suite 200  
Chicago, Illinois 60654

Client: Oak Park District 97  
Architect: STR Partners # 13160

November 11, 2013

No.	Description	Quantity	Unit	Unit Price	Amount	Total
<b>BE2</b>	<b>Create Area of Rescue Assistance at First Floor SE Entry Stairwell.</b>					
A.	Demolition and Prep					
1	Temporary barricades	26	l.f.	\$25.00	\$650	
2	Remove Existing Ceiling	156	s.f.	\$2.00	\$312	
3	Remove hallway partition & pair & +1 doors	1	allow	\$920.00	\$920	
4	Replace Room 100 door with rated SCWD & frame	1	each	\$130.00	\$130	
5	Remove lockers	1	allow	\$92.00	\$92	
6	Remove debris from Building	4	m.h.	\$92.00	\$368	
7	Dumpsters	1	each	\$500.00	\$500	
8	Clean up & house keeping	1	allow	\$360.00	\$360	
B.	Interior Construction					
1	Rated HM Frame / HM Door / Hardware 100	1	each	\$1,500.00	\$1,500	
2	Rated Hallway HM Frame / Pair HM Door / Hardwa	1	pair	\$2,800.00	\$2,800	
3	Rated Hallway HM door & frame / hardware	1	allow	\$1,500.00	\$1,500	
4	Rated hallway partition	210	s.f.	\$10.00	\$2,100	
5	Repair wall at dis-jointed partitions	1	allow	\$920.00	\$920	
6	Repair walls at old locker locations	1	allow	\$920.00	\$920	
7	Relocate lockers	1	allow	\$1,460.00	\$1,460	
8	Replace ceiling (Assume ACT)	156	s.f.	\$4.50	\$702	
9	6" x 9" Signs	2	each	\$50.00	\$100	
C.	Painting and Finishes					
1	Paint walls	600	s.f.	\$1.00	\$600	
2	Paint Ceiling				None	
3	Paint HM Frame	2	each	\$85.00	\$170	
4	Paint HM Pair Frame	1	each	\$120.00	\$120	
4	Repair flooring	1	allow	\$1,220.00	\$1,220	
D.	HVAC					
E.	Plumbing					
F.	Electrical					
1	Modify existing Lighting & exit signs	1	allow	\$1,360.00	\$1,360	
2	Fire Alarm				Existing to Remain	
3	Two Way Communications "Box"	2	each	\$500.00	\$1,000	
4	Tie Into Existing Two Way System in Building	1	each	\$1,500.00	\$1,500	
5	Low Voltage Power to Door Hold Opens	1	each	\$2,500.00	\$2,500	
6	Connect hold opens to FA	1	each	\$2,500.00	\$2,500	
G.	Fire Protection					
	Subtotal Total Estimated Budget					\$26,304
H.	General Requirements					
1	General Conditions	15%		\$26,304	\$3,946	
2	Contractor Overhead and Profit	8%		\$30,250	\$2,420	
3	Contingency	10%		\$32,670	\$3,267	
	<b>Total Estimated Budget</b>					<b>\$35,937</b>

- LEGEND:**
- ..... ITEMS TO BE REMOVED
  - //// PROPOSED WORK
  - NEW ELEVATOR OR RAMP
  - AREA OF RESCUE ASSISTANCE (ARA)
  - STAIR WITH PROPOSED ARA
  - STAIR WITH NO PROPOSED ARA (SIGNAGE PROVIDED TO DIRECT OCCUPANTS TO ARA LOCATIONS)
  - TOILET ROOM TO BE RENOVATED FOR ADA COMPLIANCE
  - DOOR TO BE MODIFIED FOR ADA COMPLIANCE
  - ADA ACCESSIBLE FLOOR AREA



**1 SECOND FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"

PRELIMINARY

**SCOPE DOCUMENT**  
 This drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, and electrical systems. As Scope Documents, the Drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the Construction Documents, on the basis of the general scope indicated or described, the Contractor shall furnish all items required for the proper execution and completion of the Work.

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**PROJECT**  
**D97 ACCESSIBILITY STUDY**  
**HATCH ELEMENTARY**

**OAK PARK SCHOOL**  
**DISTRICT 97**

CLIENT PROJECT NUMBER  
 STR PROJECT NUMBER  
**13160**

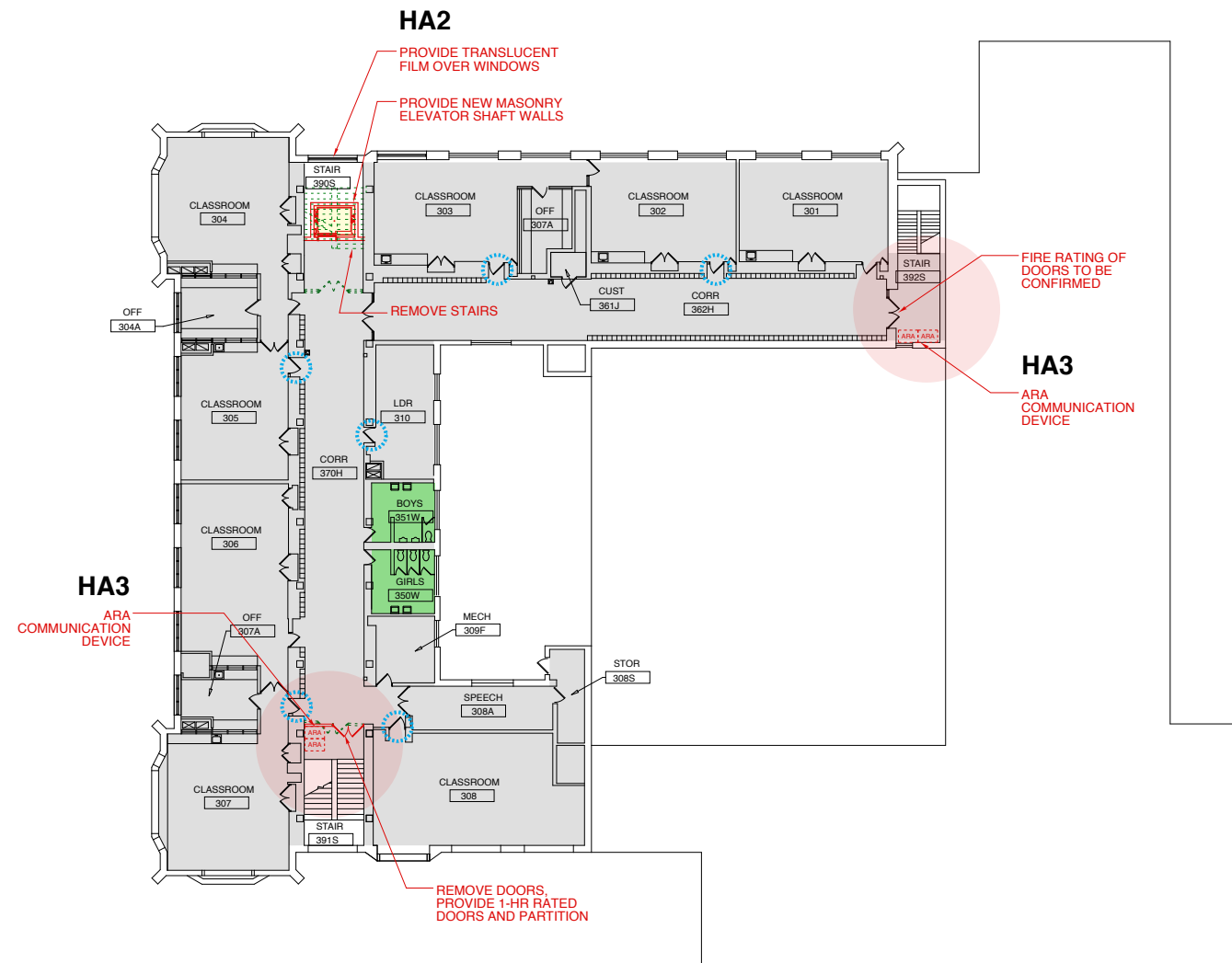
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**DRAWING TITLE**  
**SECOND FLOOR PLAN**

**SHEET NUMBER**  
**HA.2**

2 IN Actual Size to read at scale  
 1 IN  
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- LEGEND:**
- ..... ITEMS TO BE REMOVED
  - //// PROPOSED WORK
  - NEW ELEVATOR OR RAMP
  - AREA OF RESCUE ASSISTANCE (ARA)
  - STAIR WITH PROPOSED ARA
  - STAIR WITH NO PROPOSED ARA (SIGNAGE PROVIDED TO DIRECT OCCUPANTS TO ARA LOCATIONS)
  - TOILET ROOM TO BE RENOVATED FOR ADA COMPLIANCE
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**1 THIRD FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"



PRELIMINARY

**SCOPE DOCUMENT**  
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**PROJECT**  
**D97 ACCESSIBILITY STUDY**  
**HATCH ELEMENTARY**

**OAK PARK SCHOOL**  
**DISTRICT 97**

CLIENT PROJECT NUMBER

STR PROJECT NUMBER  
**13160**

DRAWING DATES		
NUMBER	DATE	COMMENTS
1	11/14/13	

**DRAWING TITLE**  
**THIRD FLOOR PLAN**

**SHEET NUMBER**  
**HA.3**

2 IN Actual Size to read at scale



# SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations  
Hatch Elementary School

**STR** CONSULTING  
350 West Ontario Street, Suite 200  
Chicago, Illinois 60654

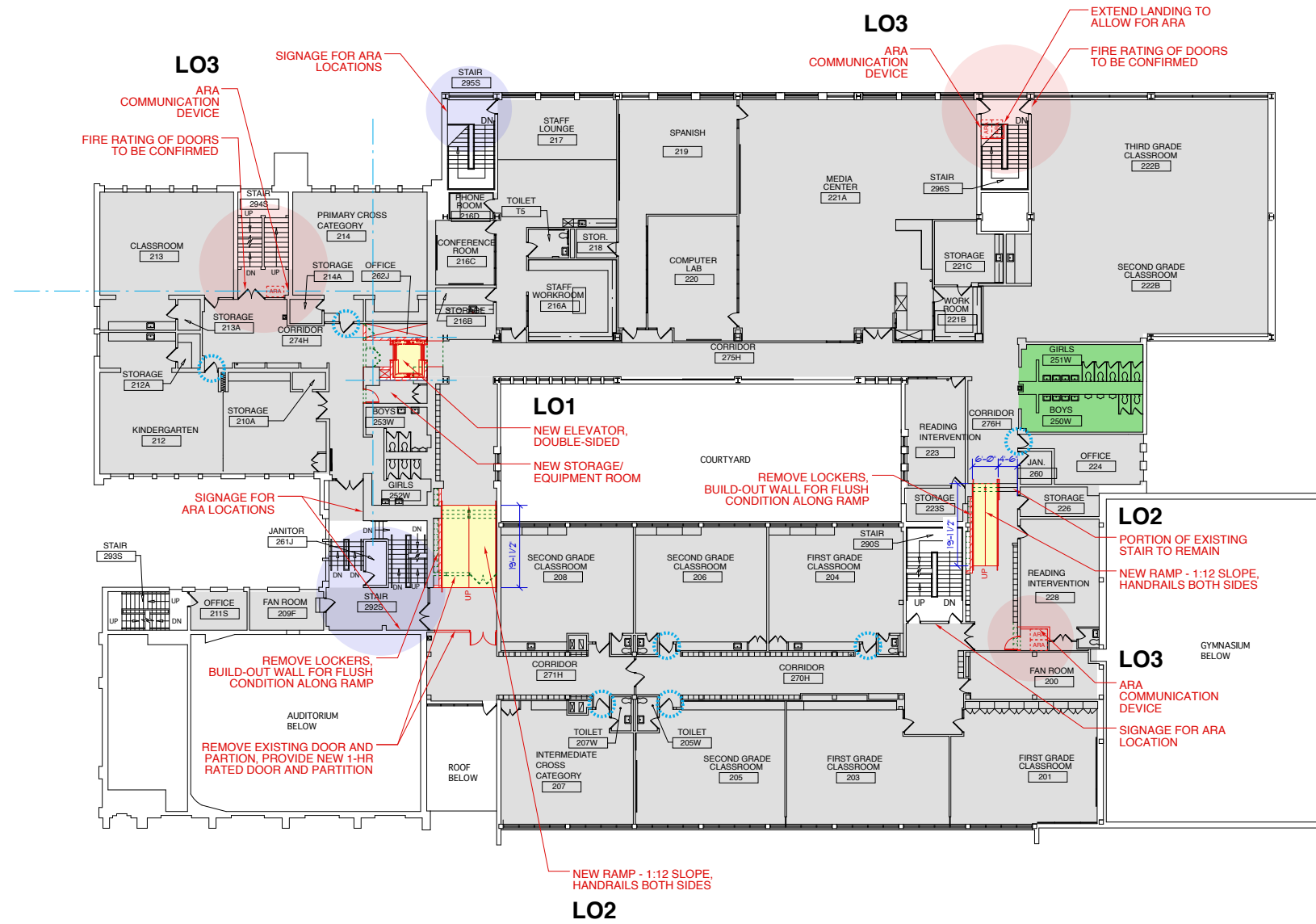
**FOR INITIAL BOARD REVIEW**

Client: Oak Park District 97  
Architect: STR Partners # 13160

November 11, 2013

No.	Description	Quantity	Unit	Unit Price	Amount	Total
<b>HA3</b>	<b>Create Four Areas of Rescue Assistance at Second and Third Floors</b>					
<b>A.</b>	<b>Demolition and Prep</b>					
1	Temporary barricades	1	allow	\$500.00	\$500	
2	Demo partiton and doors at Staior 219 & 319	24	l.f.	\$15.00	\$360	
3	Remove Existing Ceiling	72	s.f.	\$2.00	\$144	
4	Remove debris from Building	4	m.h.	\$90.00	\$360	
5	Dumpsters	1	each	\$500.00	\$500	
6	Clean up & house keeping	1	allow	\$360.00	\$360	
<b>B.</b>	<b>Interior Construction</b>					
1	HM Frame / Pair HM Door / Hardware* Stair 390S	1	each	\$2,800.00	\$2,800	
2	New Rated partitions	375	s.f.	\$8.00	\$3,000	
3	GWB ceiling replacement	96	s.f.	\$12.00	\$1,152	
4	6" x 9" Signs	4	each	\$50.00	\$200	
<b>C.</b>	<b>Painting and Finishes</b>					
1	Paint Ceiling	300	s.f.	\$1.25	\$375	
2	Paint HM Pair Frame	2	each	\$120.00	\$240	
	3. Paint partitions	500	s.f.	\$1.00	\$500	
<b>D.</b>	<b>HVAC</b>					
<b>E.</b>	<b>Electrical</b>					
1	Lighting				None	
2	Fire Alarm	1	allow	\$1,260.00	\$1,260	
3	Two Way Communications "Box"	4	each	\$500.00	\$2,000	
4	Tie Into Existing Two Way System in Building	4	each	\$1,500.00	\$6,000	
5	Low Voltage Power to Door Hold Opens				None	
<b>F.</b>	<b>Fire Protection</b>					
					None	
	Subtotal Total Estimated Budget					\$19,751
<b>G.</b>	<b>General Requirements</b>					
1	General Conditions	15%		\$19,751	\$2,963	
2	Contractor Overhead and Profit	8%		\$22,714	\$1,817	
3	Contingency	10%		\$24,531	\$2,453	
	Subtotal					\$7,233
						=====
	<b>Total Estimated Budget</b>					<b>\$26,984</b>
*Assume the existing stairway door other than Stair 390S are rated doors and do not have to be replaced.						

- LEGEND:**
- ..... ITEMS TO BE REMOVED
  - //// PROPOSED WORK
  - NEW ELEVATOR OR RAMP
  - AREA OF RESCUE ASSISTANCE (ARA)
  - STAIR WITH PROPOSED ARA
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  - DOOR TO BE MODIFIED FOR ADA COMPLIANCE
  - ADA ACCESSIBLE FLOOR AREA



**1 SECOND FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"

PRELIMINARY

**SCOPE DOCUMENT**  
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**PROJECT**  
**D97 ACCESSIBILITY STUDY**  
**LONGFELLOW ELEMENTARY**

**OAK PARK SCHOOL**  
**DISTRICT 97**

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DRAWING TITLE  
**SECOND FLOOR PLAN**

SHEET NUMBER

**LO.2**

2 IN Actual Size to read at scale

# SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations  
Longfellow Elementary School

**FOR INITIAL BOARD REVIEW**

**STR** CONSULTING

350 West Ontario Street, Suite 200  
Chicago, Illinois 60654

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Architect: STR Partners # 13160

November 11, 2013

No.	Description	Quantity	Unit	Unit Price	Amount	Total
<b>LO1</b>	<b>Install an Elevator Addition for ADA Access</b>					
A.	Demolition					
1	a. Remove doors	8	each	\$180.00	\$1,440	
2	b. Remove partitions	68	l.f.	\$15.00	\$1,020	
3	c. Remove lockers	20	each	\$100.00	\$2,000	
4	d. Remove plumbing fixtures & cap lines				None	
5	e. Remove ceiling and lighting	900	s.f.	\$2.00	\$1,800	
6	f Strip flooring (assume VCT)	900	s.f.	\$1.00	\$900	
7	g. Remove casework 2nd floor				None	
8	i. Remove HVAC & electrical	900	s.f.	\$5.00	\$4,500	
B.	Elevator pit & shaft					
1	Cut SOG in and pour shaft footing	1	allow	\$4,600.00	\$4,600	
2	8" CMU shaft walls for 1st to 3rd floor	1,710	s.f.	\$12.00	\$20,520	
	a. Lintels and support clips	3	levels	\$500.00	\$1,500	
	b. Install elevator door frames	3	levels	\$184.00	\$552	
3	Remove structural floor for elevator shaft opening and frame opening	3	each	\$8,320.00	\$24,960	
4	Cut opening in 24' masonry walls	3	each	\$4,008.00	\$12,024	
5	Infill old roof access door opening	1	each	\$1,972.00	\$1,972	
C.	Elevator Penthouse / Override					
1	Strip roofing for access to structure	1	allow	\$1,280.00	\$1,280	
2	Frame and remove roof structure for penthouse	1	allow	\$8,320.00	\$8,320	
3	Penthouse walls and roof framing	1	allow	\$5,840.00	\$5,840	
4	Penthouse roof	1	allow	\$3,080.00	\$3,080	
D.	Custom six stop elevator allowance	1	each	\$140,000	\$140,000	
E.	Interior Construction					
1	Drywall walls at elevator lobby	900	s.f.	\$6.00	\$5,400	
2	Drywall ceiling in elevator lobby	900	s.f.	\$12.00	\$10,800	
	a. Soffit at ceiling joints - allowance	36	l.f.	\$40.00	\$1,440	
3	Miscellaneous metal ladder & threshold	1	allow	\$1,200.00	\$1,200	
4	SWCD doors & HM frames	5	each	\$1,200.00	\$6,000	
F.	Interior Finishes					
1	Flooring allowance	900	s.f.	\$8.00	\$7,200	
	a. Patch & level floor	900	s.f.	\$2.00	\$1,800	
2	Paint drywall	3	floors	\$1,640.00	\$4,920	
3	Paint ceiling	900	s.f.	\$1.75	\$1,575	
G.	HVAC Modification					
1	Heating & exhaust for elevator equipment room	1	allow	\$4,000.00	\$4,000	
2	Modify existing cabinet heater in shaft	1	allow	\$1,220.00	\$1,220	
3	Elevator shaft exhaust	1	allow	\$1,500.00	\$1,500	
4	Modify existing system - allowance	900	s.f.	\$25.00	\$22,500	

# SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations  
Longfellow Elementary School

FOR INITIAL BOARD REVIEW

**STR** CONSULTING

350 West Ontario Street, Suite 200  
Chicago, Illinois 60654

Client: Oak Park District 97  
Architect: STR Partners # 13160

November 11, 2013

No.	Description	Quantity	Unit	Unit Price	Amount	Total
H.	Electrical					
1	Power to elevator					
	a. Modify existing switchgear or MDP	1	allow	\$20,000	\$20,000	
	b. New panels	1	allow	\$8,000.00	\$8,000	
	c. Final connections, trim out, and testing	1	allow	\$2,000.00	\$2,000	
2	Revise lighting for elevator lobby	900	s.f.	8.00	\$7,200	
3	Remove lighting and electrical device in shaft	1	allow	380.00	\$380	
4	Lighting and convenience power in equipment room	1	each	1,260.00	\$1,260	
I.	Fire Alarm & Communication Connections	1	allow	\$2,720.00	\$2,720	
J.	Roof Top Corridor and Ramp					
1	Strip existing roofing	1,000	s.f.	\$4.00	\$4,000	
2	Reinforce roof structure	1,000	s.f.	\$25.00	\$25,000	
	a. Remove 2nd floor ceiling to expose structure	1,000	s.f.	\$2.00	\$2,000	
	b. Reinstall ceiling and lighting	1,000	s.f.	\$12.00	\$12,000	
3	Remove wall and windows	1	allow	\$1,280.00	\$1,280	
4	Exterior wall allowance	1,200	s.f.	\$50.00	\$60,000	
5	Window allowance	2	each	\$2,000.00	\$4,000	
6	Roof access door	1	allow	\$1,200.00	\$1,200	
7	Roof structure	1,000	s.f.	\$25.00	\$25,000	
8	Roof	1,000	s.f.	\$18.00	\$18,000	
9	Ramp structure	1,000	s.f.	\$35.00	\$35,000	
10	Connections to existing	90	l.f.	\$150.00	\$13,500	
11	Interior finishes					
	a. Ceiling	1,000	s.f.	\$3.75	\$3,750	
	b. Flooring	1,000	s.f.	\$6.00	\$6,000	
	c. Clean brick walls	1,350	s.f.	\$1.25	\$1,688	
	d. Paint walls	720	s.f.	\$1.00	\$720	
12	HVAC System - allowance	1,000	s.f.	\$28.00	\$28,000	
13	Plumbing					
	Roof drainage	1,000	s.f.	\$8.00	\$8,000	
14	Electrical					
	a. Lighting	1,000	s.f.	\$8.00	\$8,000	
	b. Power and Outlets	1,000	s.f.	\$6.00	\$6,000	
	c. Fire Alarm & Communication Connections	1,000	s.f.	\$3.00	\$3,000	
	Subtotal					\$613,561
J.	General Requirements					
1	General Conditions	10%		\$613,561	\$61,356	
2	Contractor Overhead & Profit	8%		\$674,917	\$53,993	
3	Contingency	15%		\$728,910	\$109,336	
	Total Construction Estimated Cost					<b>\$838,246</b>

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No.	Description	Quantity	Unit	Unit Price	Amount	Total
<b>LO2</b>	<b>Remove Stairs and Provide ADA Ramp at Second Floor Corridor</b>					
	<b>Remove stairway for ramp at south corridor and remove 1/2 stairway to remain for room access and lockers in north Corridor 276H.</b>					
A.	Selective Demolition					
1	Remove existing handrails	1	hours	\$90.00	\$90	
2	Remove lockers	26	each	\$45.00	\$1,170	
3	Remove corridor wall and door near stair 292S	15	l.f.	\$20.00	\$300	
2	Remove existing flooring	370	s.f.	\$2.00	\$740	
3	Remove 1st Floor ceilings & lighting				Not Required	
4	Remove floor structure				Not Required	
5	Deposal of material	1	loads	\$500.00	\$500	
B.	Protection					
1	Barricade and fencing (2nd & 1st Floors)	52	l.f.	\$25.00	\$1,300	
1	Maintenance and removal of protection	16	hours	\$85.00	\$1,360	
C.	Structural work					
1	Remove concrete floor structural				Not Required	
2	Deposal of concrete material				Not Required	
3	New steel floor structure				Not Required	
4	Ramp deck	370	s.f.	\$35.00	\$12,950	
D.	Interior Construction					
1	First floor ceiling				Not Required	
2	Replace wall surfaces at old locker locations	276	s.f.	\$7.00	\$1,932	
3	Hand rails					
	a. Free standing	26	l.f.	\$250.00	\$6,500	
	b. Wall mounted	63	l.f.	\$75.00	\$4,725	
4	Replacement corridor wall	225	s.f.	\$7.00	\$1,575	
5	Replacement pair of doors	1	allow	\$3,000.00	\$3,000	
	Wall to close off exposed ramp edge	84	s.f.	\$15.00	\$1,260	
E.	Interior Finishes					
1	New flooring	370	s.f.	\$5.00	\$1,850	
2	New wall base	63	l.f.	\$4.00	\$252	
3	Paint walls	504	s.f.	\$1.50	\$756	
F.	Electrical					
1	Reinstall first floor lighting				Not Required	
2	Fire alarm and exit devices	1	allow	\$1,260.00	\$1,260	
G.	Allowance for Mechanical & Plumbing conflicts	370	s.f.	\$15.00	\$5,550	
	Subtotal					\$47,070
					=====	
	Subtotal Construction					\$47,070

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No.	Description	Quantity	Unit	Unit Price	Amount	Total
<b>LO3 Create Six Areas of Rescue Assistance at Second and Third Floors</b>						
A.	Demolition and Prep					
1	Temporary barricades	1	allow	\$500.00	\$500	
2	Remove Existing Ceiling	60	s.f.	\$2.00	\$120	
5	Remove debris from Building	4	m.h.	\$90.00	\$360	
6	Dumpsters	1	each	\$500.00	\$500	
7	Clean up & house keeping	1	allow	\$360.00	\$360	
B.	Interior Construction					
1	HM Frame / Pair HM Door / Hardware* Stair 390S	1	each	\$2,800.00	\$2,800	
2	FireLite Vision Pane 6" x 24"	1	each	\$300.00	\$300	
3	GWB ceiling replacement	60	s.f.	\$12.00	\$720	
4	6" x 9" Signs		each	\$50.00	\$0	
C.	Painting and Finishes					
1	Paint Ceiling	300	s.f.	\$1.25	\$375	
2	Paint HM Pair Frame	1	each	\$60.00	\$60	
D.	HVAC				None	
E.	Electrical					
1	Lighting				None	
2	Fire Alarm	1	allow	\$1,260.00	\$1,260	
3	Two Way Communications "Box"	6	each	\$500.00	\$3,000	
4	Tie Into Existing Two Way System in Building	6	each	\$1,500.00	\$9,000	
5	Low Voltage Power to Door Hold Opens				None	
F.	Fire Protection				None	
	Subtotal Total Estimated Budget					\$19,355
G.	General Requirements					
1	General Conditions	15%		\$19,355	\$2,903	
2	Contractor Overhead and Profit	8%		\$22,258	\$1,781	
3	Contingency	10%		\$24,039	\$2,404	
	Subtotal					\$7,088
						=====
	<b>Total Estimated Budget</b>					<b>\$26,443</b>
*Assume the existing stairway door other than Stair 390S are rated doors and do not have to be replaced.						

# FOR INITIAL BOARD REVIEW 11/19/13

## MANN ELEMENTARY

### SUMMARY

The AAC Proposal identified the Stage as being in accessible. The Multi-Purpose Room does not have an accessible egress exit, and the 2<sup>nd</sup> and 3<sup>rd</sup> floors are not accessible. STR has proposed an alternate location for this exit ramp.

#### MA1: STAGE ACCESS

Currently there is no accessible route to the elevated stage. As the AAC suggests, a wheelchair platform lift may be implemented to achieve accessibility. We have proposed renovating the storage room to the east of the stage for this purpose.

#### MA2: MULTIPURPOSE ROOM EXIT

Currently there is no accessible means of egress from the Multi-Purpose room to the exterior. The AAC report suggests installing a ramp at the west stair exit. This option would require the entire width of the existing stair and exit to be devoted to a ramped exit. STR is concerned that this option would create a bottleneck and impede exiting in the event of an emergency, as it would be a circuitous route to the entrance of the ramp used by all occupants in the space. As an alternative, STR has recommended removing a portion of the north exit stairs and providing a ramp along the north wall of the Multi-Purpose room. This will allow both stairs and a ramp to egress through this exit door. However, this location will trigger the relocation of the current serving line.

#### MA3: VERTICAL ACCESS - ELEVATOR

STR has proposed the elevator be located within the building adjacent to the center west stairwell. This location reduces the disruption to occupied space associated with an exterior tower; however, there are still items to be coordinated:

- Basement: This location is above the Boiler Room. While we propose a hole-less hydraulic elevator (without a piston), we will still need a 4-foot clear pit. The area below the shaft holds an **HVAC equipment** serving the auditorium. This equipment is beyond its useful life. We propose to replace this equipment and locate away from the elevator above, as there is open area in the Boiler Room. Thus, we will have space below the elevator to construct a 4ft clear pit suspended in the Boiler Room.
- 1<sup>st</sup> floor: Relocate Girls Toilet Room. We propose gutting the existing girls toilet room and shower associated with the original locker room into one large accessible girls toilet room.
- 2<sup>nd</sup> floor: Relocate Janitor's Closet. We propose a location across the corridor.
- 2<sup>nd</sup> floor: Adjust the entry door and north wall of Girls Toilet room for ADA required clearances
- 3<sup>rd</sup> floor: Relocate Janitor's Closet. We propose a location across the corridor.
- 3<sup>rd</sup> floor: Adjust the entry door and north wall of Girls Toilet room for ADA required clearances

## **FOR INITIAL BOARD REVIEW 11/19/13**

The addition of an elevator, however, renders the 2<sup>nd</sup> and 3<sup>rd</sup> floors accessible.

### **MA4: AREAS OF RESCUE ASSISTANCE – 2<sup>nd</sup> and 3<sup>rd</sup> FLOORS**

As a result of adding vertical accessibility, it will be necessary to provide area of rescue assistance and associated signage for egress. We have identified locations at the 2<sup>nd</sup> and 3<sup>rd</sup> floors for this purpose.

### **MA5: CLASSROOM DOOR ADA RENOVATIONS**

With the implementation of the elevator, there is now a large portion of the building that becomes accessible that previously was not. Consequently, there are several doorways that do not meet the required clearances for accessibility. We have attempted to identify the doors we believe will require adjustment in order to meet ADA regulations. However, with varying existing conditions, each opening has its own challenge. In many cases, to meet the letter of the code, intensive deconstruction is required. We believe that a solution for this condition will take in depth discussion with FAC and the District to determine what is in the best interest of the District as well as the users. Therefore, at this time, we have not provided a cost estimate for door opening renovation work.

### **MA6: TOILET ROOM ADA RENOVATIONS**

With the implementation of the elevator, there is now a large portion of the building that becomes accessible that previously was not. Consequently, there are toilet rooms that do not have accessible stalls or sinks or even entrances. Additionally, accessible drinking fountains are absent from most if not all newly accessible areas. We have suggested as part of this report locations for toilet room renovations to accommodate disabled users. At this time, we are recommending working with FAC and with the District to determine a philosophy to guide this scope throughout all facilities. Therefore, at this time, we have not provided a cost estimate for toilet renovation work.

**END OF MANN**



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District Accessibility Renovations  
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November 11, 2013

No.	Description	Quantity	Unit	Unit Price	Amount	Total
<b>MA1</b>	<b>Install a Stage Wheel Chair Lift in existing Closet</b>					
A.	Demolition					
1	Remove lockers	100	l.f.	12.00	\$1,200	
2	Remove terrazzo wall base	1	allow	1,200.00	\$1,200	
3	Strip plaster and mural	1	allow	960.00	\$960	
4	Strip interior finishes in closet	1	allow	960.00	\$960	
5	Remove closet door & frame	1	allow	285.00	\$285	
6	Remove hallway wall for new corridor access	1	allow	960.00	\$960	
7	Remove wall at stage elevation	1	allow	960.00	\$960	
8	Remove structural deck* in closet to lower floor to corridor elevation	1	allow	1,720.00	\$1,720	
	*Assume stage deck and closet floor are wood framed structures.					
9	Disposal of debris	16	hours	85.00	\$1,360	
10	Dumpster	2	each	500.00		
B.	Modify stage & closet floor structure for Lift					
1	Carpentry	32	hours	92.00	\$2,944	
2	Material allowance	1	allow	800.00	\$800	
C.	Lift - DME Symmetry Lift	1	each	23,000.00	\$23,000	
D.	Interior Construction					
1	New corridor SCWD door & HM frame	1	allow	1,200.00	\$1,200	
2	Rebuild corridor wall	1	allow	3,280.00	\$3,280	
3	Rebuild stage wall at Lift opening	1	allow	1,720.00	\$1,720	
4	New flooring					
	a. Grind and reshape terrazzo base in corridor	1	allow	670.00	\$670	
	b. Flooring in closet	1	allow	460.00	\$460	
5	New drywall sheating in closet	480	s.f.	5.00	\$2,400	
6	New ACT ceiling in closet	1	allow	460.00	\$460	
E.	Interior Finishes					
1	Paint walls	1	allow	860.00	\$860	
2	Restore mural	1	allow	1,820.00	\$1,820	
3	Signage allowance	2	allow	560.00	\$1,120	
4	Paint door frame	1	each	85.00	\$85	
F.	Electrical					
1	Lighting and switching	1	allow	880.00	\$880	
2	Power to wheel chair lift					
	a. Conduit and wire	100	l.f.	12.00	\$1,200	
	b. New breaker in existing panel	1	allow	1,200.00	\$1,200	
	c. Final connections, trim out, and testing	1	allow	960.00	\$960	
	Subtotal					\$54,664
G.	General Requirements					
1	General Conditions	10%		\$54,664	\$5,466	
2	Contractor Overhead & Profit	8%		\$60,130	\$4,810	
3	Contingency	15%		\$64,941	\$9,741	
	Total Construction Estimated Cost					<b>\$74,682</b>

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No.	Description	Quantity	Unit	Unit Price	Amount	Total
<b>MA2</b>	<b>ADA Exit Ramp at Cafeteria #118</b>					
A.	Selective Demolition					
1	Remove wall mounted devices	2	hours	\$90.00	\$180	
2	Prep stair and floor for new ramp	1	allow	\$936.00	\$936	
B.	Protection					
1	Barricade and fencing	60	l.f.	\$25.00	\$1,500	
1	Maintenance and removal of protection	16	hours	\$90.00	\$1,440	
E.	Concrete Ramp and Landing					
1	Ramp slab with formcore fill	81	s.f.	\$35.00	\$2,818	
2	Exposed ramp wall					
	a. Ramp	23	s.f.	\$75.00	\$1,725	
	b. Epoxy dowels into existing Slab	15	each	\$150.00	\$2,250	
F.	Miscellaneous Metals					
1	Free standing	30	l.f.	\$200.00	\$6,000	
2	Wall mounted	23	l.f.	\$75.00	\$1,725	
G.	Painting					
1	Allowance for painting rails	1	allow	\$640.00	\$640	
2	Clean existing brick walls	396	s.f.	\$1.50	\$594	
3	Paint HM door and frame				None	
	Subtotal Construction					\$19,808
H.	General Requirements					
1	General Conditions	10%		\$19,808	\$1,981	
2	Contractor Overhead & Profit	8%		\$21,788	\$1,743	
3	Contingency	15%		\$23,531	\$3,530	
	Total Construction Estimated Cost					<b>\$27,061</b>
<b>MA3</b>	<b>Install a Elevator Addition for ADA Access</b>					
A.	Demolition					
1	Remove 2nd & 3rd floor walls and doors					
	a. Remove doors	5	each	\$180.00	\$900	
	1. Remove pair of doors	2	pair	\$240.00	\$480	
	b. Remove CMU partitions	175	l.f.	\$15.00	\$2,625	
	c. Remove toilet stall and accessories	2	allow	\$1,180.00	\$2,360	
	d. Remove plumbing fixtures & cap lines	12	each	\$184.00	\$2,208	
	e. Remove ceiling and lighting	1,600	s.f.	\$2.00	\$3,200	
	f Strip flooring (assume VCT)	1,600	s.f.	\$1.00	\$1,600	
	g. Remove casework 2nd floor	1	allow	\$418.00	\$418	
	h. Remove plumbing rough-in	2	allow	\$936.00	\$1,872	
	i. Remove HVAC & electrical	2	allow	\$1,736.00	\$3,472	
	j. Remove office storefront - 3rd floor	14	l.f.	\$10.00	\$140	

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No.	Description	Quantity	Unit	Unit Price	Amount	Total
<b>MA3</b>	<b>Install an Elevator Addition for ADA Access</b>					
2	First Floor Demo					
	a. Remove doors	3	each	\$180.00	\$540	
	b. Remove CMU partitions	79	l.f.	\$15.00	\$1,185	
	c. Remove toilet stall and accessories	1	allow	\$1,180.00	\$1,180	
	d. Remove plumbing fixtures & cap lines	8	each	\$184.00	\$1,472	
	e. Remove ceiling and lighting	700	s.f.	\$2.00	\$1,400	
	f Strip flooring (assume VCT)	700	s.f.	\$1.00	\$700	
	g. Remove corridor doors and partition	1	allow	\$1,640.00	\$1,640	
	h. Remove plumbing IN-in	1	allow	\$936.00	\$936	
	i. Remove HVAC & electrical	1	allow	\$1,736.00	\$1,736	
	j. Allowance for demo in ?Closet & shaft?	1	allow	\$3,540.00	\$3,540	
3	Basement Demolition					
	a. Remove Mechanical equipment in basement	1	allow	\$13,200	\$13,200	
	b. Demo walls, ceiling, flooring, etc.	700	s.f.	\$20.00	\$14,000	
	c. Relocate mechanical equipment				NIC	
	d. Relocate electrical equipment & panels				NIC	
4	Remove debris from Building	40	m.h.	\$92.00	\$3,680	
5	Dumpsters	15	each	\$500.00	\$7,500	
B.	Elevator pit & shaft					
1	Cut SOG in basement and pour shaft footing	1	allow	\$4,680.00	\$4,680	
2	8" CMU shaft walls for basement to 3rd floor	2,100	s.f.	\$18.00	\$37,800	
	a. Lintels and support clips	4	levels	\$500.00	\$2,000	
	b. Install elevator door frames	3	levels	\$184.00	\$552	
3	Remove structural floor for elevator shaft opening and frame opening	3	each	\$8,320.00	\$24,960	
C.	Elevator Penthouse / Override					
1	Strip roofing for access to structure	1	allow	\$1,280.00	\$1,280	
2	Frame and remove roof structure for penthouse	1	allow	\$8,320.00	\$8,320	
3	Penthouse walls and roof framing	1	allow	\$5,840.00	\$5,840	
4	Penthouse roof	1	allow	\$3,080.00	\$3,080	
D.	Custom elevator allowance	1	each	\$100,000	\$100,000	
E.	Interior Construction					
1	High density drywall partitions					
	a. Drywall furring on walls at elevator lobby	300	s.f.	\$6.00	\$1,800	
	b. Drywall on metal studs & sound bats.	2,940	s.f.	\$10.00	\$29,400	
	c. Allowance for basement partitions	1	allow	\$4,944.00	\$4,944	
2	Drywall ceiling	2,100	s.f.	\$12.00	\$25,200	
	a. Soffit at ceiling joints	36	l.f.	\$40.00	\$1,440	
3	Film over existing windows		each	\$3,000.00	\$0	
4	Re-install casework in Library 201	1	allow	\$836.00	\$836	
5	Miscellaneous metal ladder & threshold	1	allow	\$1,200.00	\$1,200	

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<b>MA3</b>	<b>Install a Elevator Addition for ADA Access</b>					
F.	Interior Finishes					
1	Allowance to replace flooring	2,100	s.f.	\$8.00	\$16,800	
	a. Patch & level floors in toilet rooms	3	allow	\$920.00	\$2,760	
2	Paint drywall	3,920	s.f.	\$1.00	\$3,920	
3	Paint ceiling	2,100	s.f.	\$1.75	\$3,675	
G.	Plumbing					
1	Fixtures with rough-in					
	a. Janitor slop sinks	3	each	\$1,500.00	\$4,500	
	b. ADA toilet	2	each	\$1,200.00	\$2,400	
	d. Standard toilet				Existing to remain	
	e. Wall hung lavatories	6	each	\$900.00	\$5,400	
2	Plumbing allowance - waste vent, & water					
	a. Labor - 2 plumber for 4 days	64	hours	\$92.00	\$5,888	
	b. Piping & equipment allowance	1	allow	\$3,000.00	\$3,000	
	c. Allowance for basement plumbing				NIC	
6	Toilet partition & accessories					
	a. ADA stall	1	allow	\$1,200.00	\$1,200	
	b. Standard stalls	5	each	\$800.00	\$4,000	
	c. Accessories allowance	1	allow	\$4,000.00	\$4,000	
H.	HVAC Modification					
1	Heating & exhaust for elevator equipment room	1	allow	\$4,000.00	\$4,000	
2	Janitor closet exhausts	3	allow	\$1,236.00	\$3,708	
3	Elevator shaft exhaust	1	allow	\$1,500.00	\$1,500	
4	Modify toilet room HVAC for new layout	3	locations	\$1,972.00	\$5,916	
5	Replace basement HVAC	1	allow	\$80,000	\$80,000	
I.	Electrical					
1	Power to elevator					
	a. Modify existing switchgear or MDP	1	allow	\$20,000	\$20,000	
	b. New panels	1	allow	\$8,000.00	\$8,000	
	c. Final connections, trim out, and testing	1	allow	\$2,000.00	\$2,000	
2	Revise lighting	2,100	s.f.	\$8.00	\$16,800	
3	Revised power for JC and toilet rooms	2,100	s.f.	\$6.00	\$12,600	
4	Remove lighting and electrical device in shaft	1	allow	380.00	\$380	
4	Lighting and convenience power in equipment room	1	each	1,260.00	\$1,260	
J.	Fire Alarm & Communication Connections	1	allow	\$2,720.00	\$2,720	
	a. Elevator allowance	1	allow	\$2,720.00	\$2,720	
	b. FA in toilet and corridors	2,100	s.f.	\$4.00	\$8,400	
K.	Modify Shower Room 105A to Girls Toilet					
1	Demo allowance	345	s.f.	\$20.00	\$6,900	
2	New partition	1,140	s.f.	\$12.00	\$13,680	
3	SCWD with HM frame	1	allow	\$1,200.00	\$1,200	
4	Drywall ceiling with paint	345	s.f.	\$14.00	\$4,830	

# SCHEMATIC DESIGN ESTIMATE

District Accessibility Renovations  
Mann Elementary School

FOR INITIAL BOARD REVIEW

**STR** CONSULTING

350 West Ontario Street, Suite 200  
Chicago, Illinois 60654

Client: Oak Park District 97  
Architect: STR Partners # 13160

November 11, 2013

No.	Description	Quantity	Unit	Unit Price	Amount	Total
<b>MA3</b>	<b>Install a Elevator Addition for ADA Access</b>					
5	Plumbing allowance - waste vent, & water					
a.	Labor - 2 plumber for 3 days	48	hours	\$92.00	\$4,416	
b.	Piping & equipment allowance	1	allow	\$2,000.00	\$2,000	
c.	ADA toilet	1	each	\$1,200.00	\$1,200	
d.	Standard toilet	5	each	\$1,100.00	\$5,500	
e.	Wall hung lavatories	4	each	\$900.00	\$3,600	
6	Toilet partition & accessories					
a.	ADA stall	1	allow	\$1,200.00	\$1,200	
b.	Standard stalls	5	each	\$800.00	\$4,000	
c.	Accessories allowance	1	allow	\$4,000.00	\$4,000	
7	Finishes					
a.	Ceramic floors	345	s.f.	\$10.00	\$3,450	
b.	Ceramic wall tile	684	s.f.	\$12.00	\$8,208	
c.	Painting and chalking allowance	1	allow	\$920.00	\$920	
8	HVAC					
a.	Modify existing system for heating & vent	345	s.f.	\$15.00	\$5,175	
b.	Toilet exhaust	1	allow	\$1,500.00	\$1,500	
9	Electrical					
a.	Lighting	345	s.f.	\$6.00	\$2,070	
b.	GFI & power	345	s.f.	\$5.00	\$1,725	
c.	Fire alarm	345	s.f.	\$3.00	\$1,035	
10	Fire Protection				None	
	Subtotal					\$629,472
J.	General Requirements					
1	General Conditions	10%		\$629,472	\$62,947	
2	Contractor Overhead & Profit	8%		\$692,419	\$55,394	
3	Mobilization, Temp Protection, Non-productive Labo	15%		\$747,813	\$112,172	
	Total Construction Estimated Cost					<b>\$859,985</b>